

# **BUILDING CONSENT APPLICATION - LOT 11, 31 DYKE ROAD, KARAKA**

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A831	SHOWERWELL BASE	Α				
A881	TRUSS LAYOUT PLAN	A				
A891	ROOF WINDOW DETAILS	A				



3D PERSPECTIVE

# LOT 11; TYPE A1

ZONES					
WIND	EQ	DURABILITY	CLIMATE		
HIGH	1	D	1		
BUILDING CONSENT APPL.					

GMB DESIGN (2005) LTD.

PROPOSED DEVELOPMENT LOT 11, 31 DYKE ROAD, KARAKA, PAPAKURA Office: 79 Twomey Drive Pukekohe - postal: P.O. Box 278, Pukekohe 2340

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DWG. TITLE:	COVER SHEET		A000	REV:
DRAWN: NJW	CHECKED: GMB	SCALES: at A3	JOB NO:	-

# Page 2 of 52 Building Consent BCO10374007 Approved by Auckland Council

### SITE WORKS NOTES

- 1. ALL FENCING AND OTHER COVENANTS SHALL BE CHECKED & OBSERVED PRIOR TO COMMENCEMENT
- 2. FLOOR LEVEL SHALL BE SET & CERTIFIED BY REGISTERED SURVEYOR.
- 3. ALL EARTHWORKS SHALL BE CARRIED OUT IN DRY WEATHER.
- 4. CUT SILTS, CLAYS & METALS SHALL BE REMOVED FROM SITE UNLESS SUITABLE FOR RE-USE.
- 5. PROVIDE SILT CONTROL FENCE AS NECESSARY WHERE LESS THAN 1.5m WIDE GRASS STRIP REMAINS BETWEEN EARTHWORKS AND BOUNDARY DOWN SLOPE.
- 6. SURFACES SHALL BE WETTED DOWN AS REQUIRED IN THE EVENT OF STRONG WIND IN ORDER TO MINIMISE NUISANCE FROM DUST.
- 7. RE-GRASSING SHALL OCCUR IMMEDIATELY AFTER CONSTRUCTION COMPLETED.
- 8. CONFIRM LOCATIONS & DEPTHS OF EXTG. PUBLIC DRAINS AND SW & SS CONNECTIONS PRIOR TO COMMENCEMENT TO CONFIRM FOUNDATION ARRANGEMENTS & AQEQUATE FALL FOR DRANAGE RETICULATION.
- 9. ENSURE ALL DRAINAGE EXCAVATION POSITIONS & DEPTHS DO NOT INFLUENCE FOUNDATION SYSTEM
- 10. ALL DRAINAGE PIPES & SOAKAGE PITS SHOWN ARE DIAGRAMMATIC ONLY & THE CONTRACTOR SHALL CONFIRM ALL ROUTES & LEVELS TO ENSURE COMPLIANCE
- 11. PROVIDE CESSPITS AS REQUIRED BY FINAL GROUND CONTOURS. CONFIRM ALL POSITIONS ON SITE.
- 12. CONFIRM GUTTER FALLS & DOWNPIPE LOCATIONS ON SITE PLANS PRIOR TO COMMENCEMENT
- 13. SANITARY PLUMBING TO AS/NZS 3500.2:2018

### 14. IO's REQUIRED AT:

- · OUTSIDE BUILDING WHERE WC CONNECTED TO BRANCH DRAIN
- MAXIMUM INTERVAL OF 30m
- CONNECTION TO PUBLIC SYSTEM LINEESS PROVIDED BY LITELITY OPERATOR DOWNSTREAM END OF ANY DRAIN PASSING UNDER A BUILDING EXCEPT
- WHERE WASTE FIXTURES ONLY ARE CONNECTED IMMEDIATELY AT OR UPSTREAM OF THE UPPER BEND OF A JUMP-UP
- EVERY CHANGE IN HORIZONTAL DIRECTION OR GRADIENT >45
- 15. ALL SURFACE WATER DRAINAGE & FITTINGS TO E1/AS1.

### **CONSULTANTS REPORTS & OTHER APPROVALS**

- 1. ENSURE COMPLIANCE WITH ALL CONDITIONS OF RESOURCE CONSENT BUN60413960, DATED 14/04/2023.
- 2. ENSURE COMPLIANCE WITH ALL CONDITIONS OF RILEY'S GEOTECHNICAL COMPLETION REPORT REPORT. REFERENCE: 220055-M (ISSUE 2.0) DATED 7 FEBRUARY 2024.
- 3. STRUCTURAL DETAILS REFER TO HFC STRUCTURES LTD PLANS, SHEETS G001-003, S100-103, S401-407.
- 4. ALL FOUNDATION CONSTRUCTION, EXCAVATIONS & HARDFILL SHALL BE SUBJECT TO APPROPRIATE CONSTRUCTION QUALITY MONITORING IN ORDER THAT A PRODUCER STATEMENT -CONSTRUCTION REVIEW (PS-4) CAN BE ISSUED TO CONFIRM THAT THE STRUCTURE MEETS REQUIREMENTS OF NZBC B1.

### **GENERAL NOTES**

- 1. ALL CONSTRUCTION SHALL COMPLY WITH NZBC & APPROVED DOCUMENTS
- 2. CONTRACTORS & FABRICATORS SHALL CONFIRM ALL DIMENSIONS & SIZES PRIOR TO COMMENCEMENT. DISCREPANCIES SHALL BE BROUGHT TO THE DESIGNERS
- 3. TIMBER FRAMING SHALL BE MACHINE STRESS GRADED TO SG8 OR 90x45 'J-FRAME' STRUCTURAL LVL TIMBER.
- 4. ALL TIMBER TREATMENT TO B2/AS1, NZS 3602:2003 & NZS 3640:2004.
- 5. ENSURE TOP PLATES COMPLY WITH NZS 3604:2011 TABLE 8.16.
- 6 PROVIDE MINIMUM 2/90x45 STUDS BELOW ALL POINT LOADS & BEAM ENDS
- 7. ALL GLAZING SHALL COMPLY WITH NZ 4223 CH 2 & 3.
- 8. PROVIDE PERSONAL HYGIENE FACILITIES TO NZBC G1/AS1.
- 9. PROVIDE LAUNDRY FACILITIES TO NZBC G2/AS1.
- 10 PROVIDE KITCHEN FACILITIES TO NZBC G3/AS1
- 11. PROVIDE MAINS PRESSURE 250 LITRE ELECTRIC STORAGE WATER HEATER ON SAFE TRAY c/w SEISMIC RESTRAINT & TEMPERING VALVE TO NZBC G12/AS1. PROVIDE DISCHARGE PIPE UNDER FLOOR TO FREE OUTLET.
- 12. CONFIRM SELECTED SANITARY FITTINGS SUIT SPACES & WINDOW ARRANGEMENTS PRIOR TO COMMENCEMENT
- 13. FLOOR & WALL LININGS TO WET AREAS SHALL COMPLY WITH NZBC E3/AS1. FLOORS CERAMIC TILES WITH WATERPROOF GROUTED JOINTS LAID ON 'ARDEX SUPERFLEX' WATERPROOF MEMBRANE. WALLS SHALL BE SEMI-GLOSS PAINT
- 14. WATER SUPPLY PIPING SHALL BE REHAU XLPE; 20mm MAIN WITH 15mm BRANCHES.
- 15. PROVIDE EXTRACT FAN OVER KITCHEN HOB. PROVIDE EXTRACT FAN TO BATHROOMS & LAUNDRY. ALL EXTRACT FANS SHALL BE DUCTED TO OUTSIDE VIA SOFFIT IF POSSIBLE & 1.0m MIN. CLEAR OF OPENABLE WINDOWS.
  - · ALLOWING FOR BENDS, DUCT LENGTH & TYPE, & GRILLES ENSURE
  - FOLLOWING AIR FLOW RATES:
  - KITCHENS 501/s (LITRES PER SECOND) INTERMITTENT USE.
- · BATHROOMS, WC's & LAUNDRIES 25 I/s INTERMITTENT USE PROVIDE 15mm UNDERCUT TO DOORS OF EINISHED FLOORING, WHERE EXTRACT FAN INSTALLED IN ROOM WITHOUT OPENABLE WINDOW
- 16. RECESSED FITTINGS TO AS/NZS 60598.2.2, TYPES IC-F, IC, CA-80 OR CA-135 ONLY (NO CLEARANCE TO INSULATION REQUIRED FOR THESE TYPES).
- 17. INTERNAL WALL BRACES SHALL BE CONNECTED TO EXTERNAL WALLS AS SHOWN IN N7S 3604-2011 FIG. 8 16

### HAZARDOUS AGENTS ON SITE (F1) AND CONSTRUCTION AND DEMOLITION HAZARDS (F5)

FENCES AND HOARDINGS SHALL EXTEND AT LEAST 2.0m IN HEIGHT FROM GROUND

THE CONTRACTOR IS RESPONSIBLE FOR TAKING ALL REASONABLE PRECAUTIONS

TO ENSURE SAFETY OF PUBLIC DURING AT ALL TIMES OF THE CONSTRUCTION WORK

THE CONTRACTOR IS RESPONSIBLE FOR TAKING ALL REASONABLE PRECAUTIONS

TO IDENTIFY & MANAGE HAZARDOUS MATERIALS THAT BECOME EVIDENT DURING THE

MEET ALL REQUIREMENTS OF THE HEALTH AND SAFETY AT WORK ACT 2015 PROVIDE A COPY OF HEALTH AND SAFETY PLAN PRIOR TO COMMENCEMENT

PRODUCE AN APPROVED TRAFFIC MANAGEMENT PLAN AS REQUIRED

THE FOLLOWING CODES OF PRACTICE SHALL BE OBSERVED:

NEW ZEALAND DEMOLITION AND ASBESTOS ASSOCIATION (NZDAA)

BEST PRACTICE GUIDELINE FORDEMOLITION IN NEW ZEALAND

PRODUCE A SITE SPECIFIC DEMOLITION & CONSTRUCTION MANAGEMENT PLAN

APPROVED CODE OF PRACTICE FOR SAFETY INEXCAVATION AND SHAFTS FOR

APPROVED CODE OF PRACTICE FOR MANAGEMENT & REMOVAL OFASBESTOS

NEW ZEALAND GUIDELINES FOR THE MANAGEMENT AND REMOVAL OFASBESTOS

ALL WORK SHALL COMPLY WITH F1/AS1 & F5/AS1

LEVEL ON THE SIDE ACCESSIBLE TO THE PUBLIC

FOLLOW THE SPECIFICATION REQUIREMENTS

CONTRACTOR'S RESPONSIBILITIES:

CONSTRUCTION WORK

CODES OF PRACTICE:

WORKSAFE NEW ZEALAND (OSH)

REPAINTING LEAD BASED PAINTS

GENERAL:

### 06/05/2024

### **IMPORTANT**

### WALL UNDERLAY SUPPORT:

WHERE STUDS ARE SPACED >400mm CRS. INTERMEDIATE SUPPORT SHALL BE PROVIDED TO WALL UNDERLAY TO STOP UNDERLAY & INSULATION BULGING INTO

### UNDERLAYS AND TAPES

- WALL UNDERLAY: THERMAKRAFT WATERGATE PLUS
- WHERE REQUIRED ROOF UNDERLAY: THERMAKRAFT COVERTEK 407 SYNTHETIC
- FLASHING TAPE: 3M ALL WEATHER FLASHING TAPE 8067

### WINDOW PACKING:

KEEP ALL WINDOW PACKERS MIN. 20mm FROM INSIDE FACE OF FRAME TO ALLOW FOR CONTINUOUS AIR SEAL.

CAVITY BATTENS SHALL BE CUT BACK AS REQUIRED TO ALLOW CORNER, BACK & OTHER FLASHINGS TO BE INSTALLED WITHOUT INTERFERENCE TO CLADDING LINE OR CRUSHING OF HEMS OR HOOKS.

PROVIDE SOLID FRAMING OR SUBSTRATE BACKING TO ALL MEMBRANE OR FLASHING TAPE & ENSURE FULL ADHERENCE TO UNDERLAY OR SUBSTRATE

### **FABRICATION TOLERANCES:**

FABRICATOR SHALL CONFIRM ROOF PITCH, SOFFIT BEARER HEIGHT, ALUMINIUM JOINERY SECTION AND OVERHANG SUIT CHOSEN FASCIA SYSTEM. ENSURE BEAMS DO NOT PROTRUDE BELOW SOFFIT

# LOT 11; TYPE A1

NO ALTERATIONS WHATSOEVER SHALL BE MADE TO THE DESIGN AND DETAILING CONTAINED ON THESE PLANS UNLESS WRITTEN PERMISSION IS OBTAINED FROM DESIGNER. THIS INCLUDES BUT IS NOT LIMITED TO, SETOUT, DIMENSIONS, & MATERIALS SELECTIONS. ANY DISCREPANCY OR REQUIREMENT FOR ADDITIONAL INFORMATION SHALL BE IMMEDIATELY BROUGHT TO THE DESIGNERS ATTENTION. WORK REQUIRING CLARIFICATION SHALL NOT PROCEED UNDER ANY CIRCUMSTANCES WITHOUT THE DESIGNERS FURTHER INSTRUCTION.

	ZONES				
WIND	EQ	DURABILITY	CLIMATE		
HIGH	1	D	1		
BUILDING CONSENT APPL.					

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PROPOSED DEVELOPMENT LOT 11, 31 DYKE ROAD, KARAKA, PAPAKURA A PORTES UDDATED CENERAL OFFICE OF TWO TWO PURKS OF PURKS

**GENERAL NOTES** A001 NJW ECKED: GMB 1:1 at A3 1455 NED: GMR OCT '23

where used in exposed or sheltered locations; Hot-dipped galvanized for all other locations.

Minimum concrete cover to steel reinforcement shall be:

CONCRETE AND CONCRETE MASONRY

75 mm when concrete is placed directly on or against the ground; 50 mm in all other situations where the concrete is placed in formwork provided the concrete specifications follow the provisions

30 mm from the top of a wall or floor slab which is in a closed area

	or 304 stainless steel	galvanising on mild steel
Zone B	Yes	Yes
Zone C	Yes	Yes
Zones D and E	Yes	_

Table 18D:	Corrosion protection to lintels Paragraph 9.2.9, Table 18E		
	316 or 316L or 304(2) stainless steel or	600 g/m <sup>2</sup> galvanising on mild steel(1) or	
	600 g/m <sup>2</sup> galvanising on mild steel plus duplex coating(1)	The transfer of the contract o	
Zone B	Yes	Yes	
Zone C	Yes	Yes	
Zone D	Yes		
2) 304 sta of surf	NZS 2699.3 sinless steel will exhibit ace rusting than 316 s ally where not exposed	tainless steel,	

prrosion protection to masonry all ties ragraph 9.2.7			
316, 316L, or 304 stainless steel	470 g/m <sup>2</sup> galvanising on mild steel		
Yes	Yes		
Yes	Yes		

Table 18D:	le 18D: Corrosion protection to lintels Paragraph 9.2.9, Table 18E		
	316 or 316L or 304(2) stainless steel or	600 g/m <sup>2</sup> galvanising on mild steel(1) or	
	600 g/m <sup>2</sup> galvanising on mild steel plus duplex coating(1)	300 g/m <sup>2</sup> galvanising on mild steel plus Duplex coating(1)	
Zone B	Yes	Yes	
Zone C	Yes	Yes	
Zone D	Yes		
1) To AS	/NZS 2699.3		

ZONES	FIXING FASTENING	ENVIRONMENT		MATERIAL		
	Nail plates	CLOSED AND ROOF SPACES		Continuously coated galvanized steel <sup>(2)</sup>		
ALL ZONES	Wire dogs & bolts					Hot-dipped galvanized steel <sup>(2)</sup>
	All other structural fixings	CLOSED		CLOSED		Mild steel (uncoated, non-galvanized)(3)
ZONE D	All structural fixings	SHELTERED <sup>(4)</sup> AND EXPOSED		Type 304 stainless steel <sup>(5)</sup>		
	Treated timber pile connections more	Subfloors vented 7000 mm² or less	SHELTERED(4)	Hot-dipped galvanized steel <sup>(2)</sup>		
	than 600 mm from the ground and all subfloor connections	Subfloors vented more than 7000 mm <sup>2</sup>	EXPOSED	Type 304 stainless steel <sup>(5)</sup>		
ZONES B AND C	Treated timber pile connections within 600 mm of the ground	SHELTERED <sup>(4)</sup> AND EXPOSED		Type 304 stainless steel <sup>(5)</sup>		
	All other structural	SHELTERED <sup>(4)</sup>		Hot-dipped galvanized steel <sup>(2)</sup>		
	fixings, except fabricated brackets <sup>(6)</sup>	EXPOSED		Type 304 stainless steel <sup>(5)</sup>		

- (1) Items described in this table are steel fasteners required to last not less than 50 years, used for joining timber, such as nail plates, bolts, brackets, wire dogs and similar, but not including nails or screws (which are described in table 4.3).
- (2) All galvanizing weights to steel shall be as given in table 4.2.
- (3) Steel fixings in timber treated with copper-based timber preservatives shall be as per 4.4.4.
- (4) "Sheltered" shall be that above a 45° line drawn from the lower edge of a projecting weathertight structure such as a floor, roof or deck. "Exposed" shall be below that 45° line. See figure 4.3(a) and (b).
- (5) Type 304 stainless steel is sufficient to comply with NZBC requirements, but may have surface rust. Type 316 may be used where appearance is a consideration but exceeds the requirements of the NZBC.
- (6) "Fabricated brackets" shall be made from 5 mm (minimum thickness) mild steel and shall be hot-dipped galvanized.

### Table 4.3 - Steel items such as nails and screws used for framing and cladding (see 4.4.3)

		Nail	or screw use		
Building location	Cladding that acts as bracing (50-year durability)	Non-structural cladding (15-year durability)	Framing in "Closed" areas <sup>(1)</sup> including roof spaces	Framing in "Sheltered" areas <sup>(1)</sup>	Framing in "Exposed" areas(1)
Zone D	Stainless steel <sup>(2)</sup> or silicon bronze or protected galvanized steel <sup>(3)</sup>	Galvanized steel(4)	Mild steel <sup>(5)</sup>	Galvanized steel <sup>(5)</sup>	Stainless steel <sup>(2)</sup>
Zones B & C	Galvanized steel(4)	Galvanized steel(4)	Mild steel <sup>(5)</sup>	Galvanized steel <sup>(5)</sup>	Galvanized steel <sup>(5)</sup>

- For definitions of "closed", "sheltered", and "exposed" see table 4.1 and figure 4.3(a) and (b).
- (2) Stainless steel nails shall be minimum Type 304 and shall have annular grooves to provide similar withdrawal resistance to hot-dipped galvanized nails.
- (3) Protection of galvanized steel nails shall consist of putty and an exterior painting system consisting of a primer undercoat and 2 top coats of oil-based or acrylic paint.
- (4) Where the cladding is a corrosive timber, such as western red cedar or redwood, or is treated with copper-based ACQ or CuAz preservatives, use stainless steel (2) or silicon bronze.
- (5) Steel fixings in timber treated with copper-based preservatives shall be as per 4.4.4.
- (6) Irrespective of the above, nails and screws shall be compatible with any fixing plate that is used with them.
- (7) Nails and screws and other fixings into piles within 600 mm of the ground shall be stainless steel.
- (8) Galvanized nails shall be hot-dipped galvanized to a minimum of 320 g/m<sup>2</sup>; galvanized screws shall be mechanically zinc plated in accordance with AS 3566: Part 2, Class 4.
- (9) Type 304 stainless steel is sufficient to comply with NZBC requirements, but may have surface rust. Type 316 may be used where appearance is a consideration but exceeds the requirements of the NZBC.

### 4.5.2

of 4.5.2:

4.5.1

The minimum specified 28-day concrete strength, complying with NZS 3104 and NZS 3109 shall be:

or 50 mm from the top of any exposed wall or floor slab.

- 10 MPa for unreinforced concrete used in mass foundations;
- 17.5 MPa for unreinforced concrete applications, or reinforced concrete either not exposed to weather or exposed to the weather in Zone B as shown in figure 4.2;
- 20 MPa for reinforced concrete exposed to weather in Zone C as shown in figure 4.2;
- 25 MPa for reinforced concrete exposed to weather in Zone D as
- Specially selected from NZS 3101 table 5.3 where a direct wearing concrete floor is required;
- Geothermal hot spots shall be to SED.

### 4.5.3

Concrete masonry shall:

- Comply with the provisions of NZS 4210;
- Have minimum cover to steel reinforcement from an uncoated masonry external face and minimum grout strength of:

45 mm and 17.5 MPa for interior conditions and Zone B; 50 mm and 20 MPa for Zone C;

60 mm and 25 MPa for Zone D.

### **DURABILITY: TIMBER COMPONENTS**

LOCATION	ITEM	TREATMENT
ENCLOSED ENCLOSED ENCLOSED ENCLOSED ENCLOSED ENCLOSED ENCLOSED	ROOF FRAMING ROOF FRAMING <10° WALL FRAMING FLOOR JOISTS PLYWOOD, BRACING PLYWOOD, WET AREA FLOORING	H1.2 H1.2 H1.2 MIN., H3.2 WHERE SPECIFIED H1.2 H3 H3 CCA
ENCLOSED ENCLOSED EXTERNAL EXTERNAL GROUND CONTACT GROUND CONTACT	STRUCTURAL CAVITY BATTENS NON-STRUCTURAL CAVITY BATTENS CLADDING, FASCIA & FACINGS STRUCTURE & DECKING RETAINING WALL RAILS PILES	H3.2 H3.1 H3.1 H3.2 H4

TIMBER TREATMENT AS ABOVE UNLESS OTHERWISE SPECIFIED IN MANUFACTURERS SPECIFICATIONS. ALL TIMBER TO BE SG8 GRADE UNLESS OTHERWISE SPECIFIED.

### PROTECTION REQUIRED FOR STEEL BEAMS

ZONES	ENVIRONMENT	COATING
ALL ZONES	CLOSED AND ROOF SPACES	1 COAT OF APPROVED RED OXIDE ZINC PHOSPHATE ALKYD PRIMER 75 MICRONS THICK.
ALL ZONES	EXTERNAL IN CONTACT WITH COPPER BASED ACQ OR CUAZ PRESERVATIVES	ANTI-CORROSION TREATMENT IN COMPLIANCE WITH AS/NZS2312.MIN. 85 MICRONS GALV. + PAINT TO SPEC
ZONES B AND C	EXTERNAL	HDG 600 TO AS/NZS 2312:2002
ZONE D (SEA SPRAY)	EXTERNAL	HDG 600 P7 TO AS/NZS 2312:2002

# LOT 11; TYPE A1

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ZONES								
WIND	WIND EQ DURABILITY CLIMATE							
HIGH	1	D	1					
BUILDING CONSENT APPL								

GMB DESIGN (2005) LTD.

PROPOSED DEVELOPMENT LOT 11, 31 DYKE ROAD, KARAKA, PAPAKURA A MONA 24 APPRESS UPDATED GENERU Office: 79 Twomey Drive, Pukekohe - postal: P.O. Box 278, Pukekohe 2340

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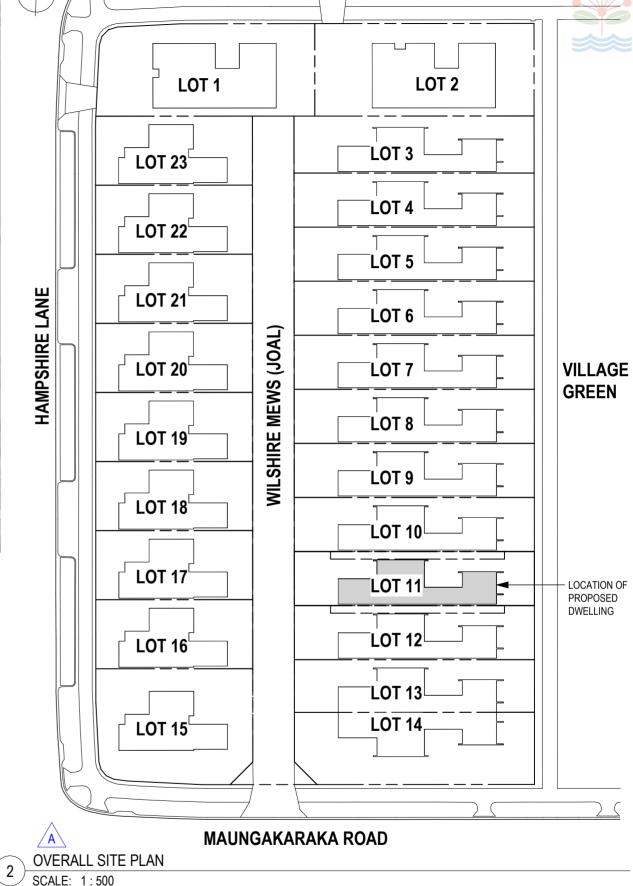
Office: 79 Twomey Drive, Pukekohe - postal: P.O. Box 278, Pukekohe 2340

			DWG. NO:	REV:
	DURABILITY NOT	ES	A002	Α
				' '
IJW	CHECKED: GMB	SCALES: 1:1 at A3	JOB NO:	
		1:Tal A3	1455	5
iMB	DATE: OCT '23		1 100	,

Page 4 of 52 Building Consent BCO10374007 Approved by Auckland Council LOCATION OF PROPOSED DWELLING Linwood Rd

**LOCATION PLAN** 

SCALE: 1:5000

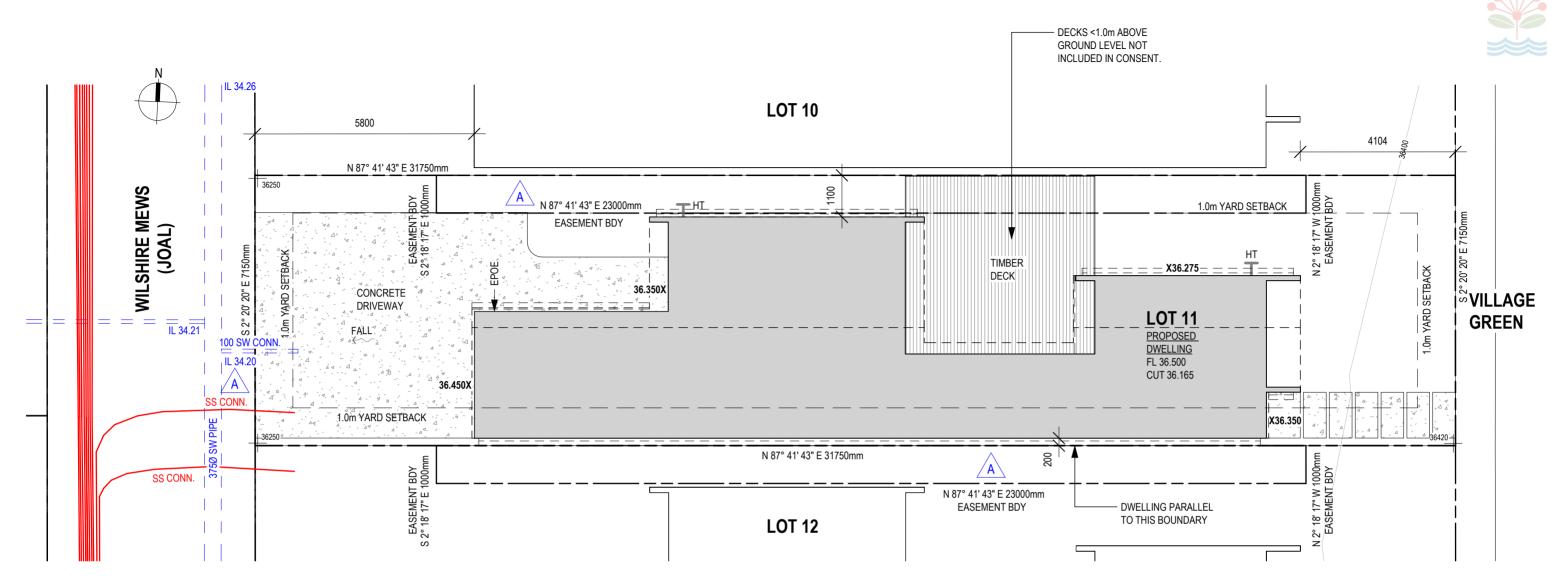


KARAKA VILLAGE PARAD 6/05/2024

# LOT 11; TYPE A1

ZONES						
WIND EQ DURABILITY CLIMATE						
HIGH	1	D	1			
BUILDING CONSENT APPL.						

			GMB DESIGN (2005) LTD.	PROPOSED DEVELOPMENT  LOT 11, 31 DYKE ROAD, KARAKA, PAPAKURA	DWG. TITLE:	LOCATION PLA	N	A010	A
		ADDRESS URBATED OF VEDA	ph (09) 239-1818 - e-mail: grant@gmb.co.nz	EOD	DRAWN: NJW	CHECKED: GMB	SCALES: As indicated at A3	JOB NO: 1455	
H	0 RA	010374007 Recei	Office: 79 Twomey Drive Pukekohe - postal: P.O. Box 278, Pukekohe 2340	ncil 10/01/E/SECRESIAENTIAL	DESIGNED: GMB	DATE: OCT '23		1400	<u>'</u>



SITE PLAN
SCALE: 1:100

**LEGAL** 

PROPOSED LOT 11, BEING SUBDIVISION OF LOT 6001 DP 585532 AREA: 227m<sup>2</sup>

LEVELS TO L.I.N.Z. DATUM

### **SITE WORKS NOTES**

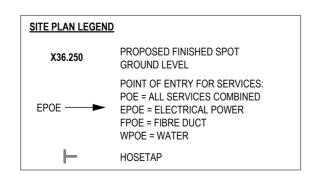
REFER SHEET A001

### **IMPORTANT**

DETERMINE FLOOR LEVEL AFTER CAREFUL INSPECTION ON SITE. CONFIRM WITH DESIGNER PRIOR TO ANY ALTERATION TO THE FLOOR LEVEL.

### **LANDSCAPING**

REFER RESOURCE CONSENT LANDSCAPING PLANS FOR ALL PLANTING, FENCING & PAVING LOCATIONS & SPECIFICATIONS.



# LOT 11; TYPE A1

ZONES WIND EQ DURABILITY CLIMATE		GMB DESIGN (2005) LTD.	PROPOSED DEVELOPMENT	DWG. TITLE:	SITE PLAN		A011 A
BUILDING CONSENT APPL.	A 020424 ADDRESS URDATED CENTRAL TO BOOK TO BE CONTROL TO THE CONT	ph (09) 239-1818 - e-mail: grant@gmb.co.nz Office: 79 Twomey Drive, Pukekohe - postal: P. O. Box 278, Pukekohe 2340	LOT 11, 31 DYKE ROAD, KARAKA, PAPAKURA	DRAWN: NJW DESIGNED: GMB	CHECKED: GMB  DATE: OCT '23	SCALES: As indicated at A3	JOB NO: 1455



06/05/2024

Page 6 of 52 Building Consent BCO10374007 Approved by Auckland Council

1. PROVIDE SILT CONTROL FENCE WHERE < 1.5m WIDE GRASS STRIP BETWEEN EXCAVATED AREA & ADJACENT SITES OWNED BY OTHER PARTIES.=

**BULK EXCAVATION** 

2. ALL EARTHWORKS SHALL BE CARRIED OUT IN COMPLIANCE WITH NZS 4431:1989 CODE OF PRACTICE FOR EARTH FILL FOR RESIDENTIAL DEVELOPMENT

3. CUT LEVEL TO UNDERSIDE OF SAND BLINDING. CONFIRM OTHER REQUIREMENTS ON SITE PRIOR TO COMMENCEMENT.

EXTENT OF FLAT CUT EXTENT OF BATTERED CUT OR FILL

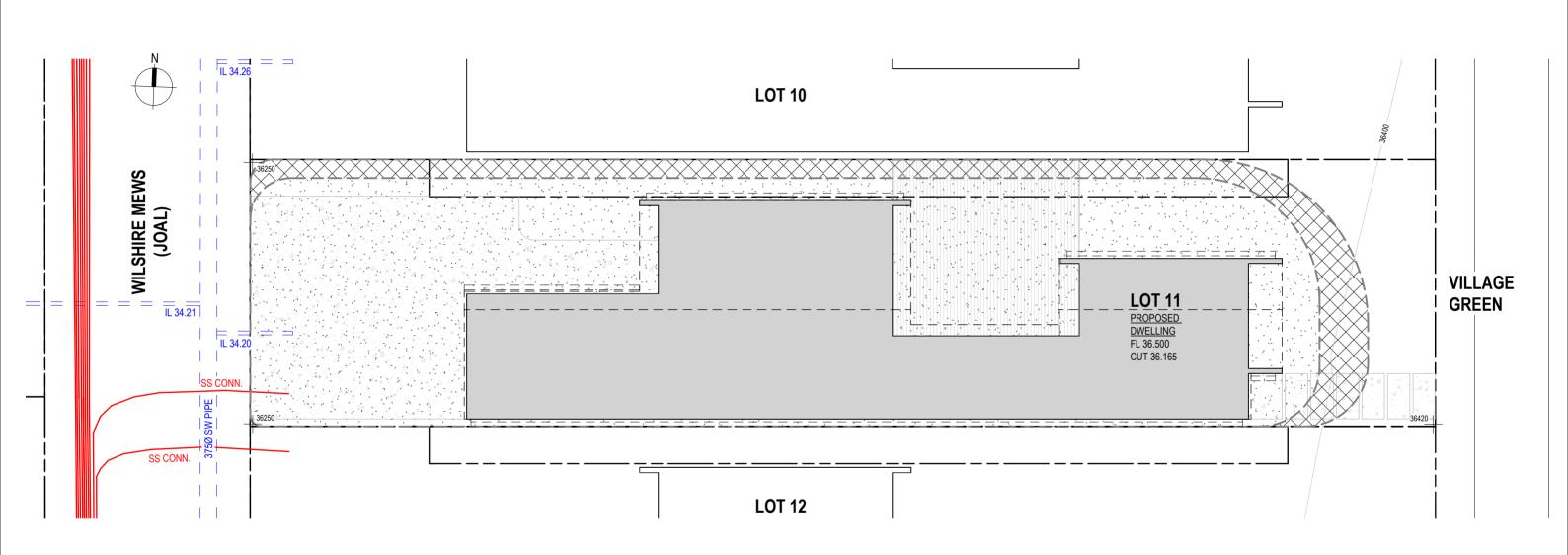
> HEIGHT OF FLOOR LEVEL ABOVE/BELOW EXTG. **GROUND LEVEL**

TOTAL EXCAVATION AREA TOTAL EXCAVATION VOLUME MAX. DEPTH OF CUT

= 210m<sup>2</sup>  $= 30m^3$ = 0.15m







EARTHWORKS PLAN SCALE: 1:100

# LOT 11; TYPE A1

NO ALTERATIONS WHATSOEVER SHALL BE MADE TO THE DESIGN AND DETAILING CONTAINED ON THESE PLANS UNLESS WRITTEN PERMISSION IS OBTAINED FROM DESIGNER. THIS INCLUDES BUT IS NOT LIMITED TO, SETOUT, DIMENSIONS, & MATERIALS SELECTIONS. ANY DISCREPANCY OR REQUIREMENT FOR ADDITIONAL INFORMATION SHALL BE IMMEDIATELY BROUGHT TO THE DESIGNERS ATTENTION. WORK REQUIRING CLARIFICATION SHALL NOT PROCEED UNDER ANY CIRCUMSTANCES WITHOUT THE DESIGNERS FURTHER INSTRUCTION.

	ZONES								
WIND	CLIMATE								
HIGH	1	D	1						
В	UILD	ING CONSENT A	PPL.						

GMB DESIGN (2005) LTD.

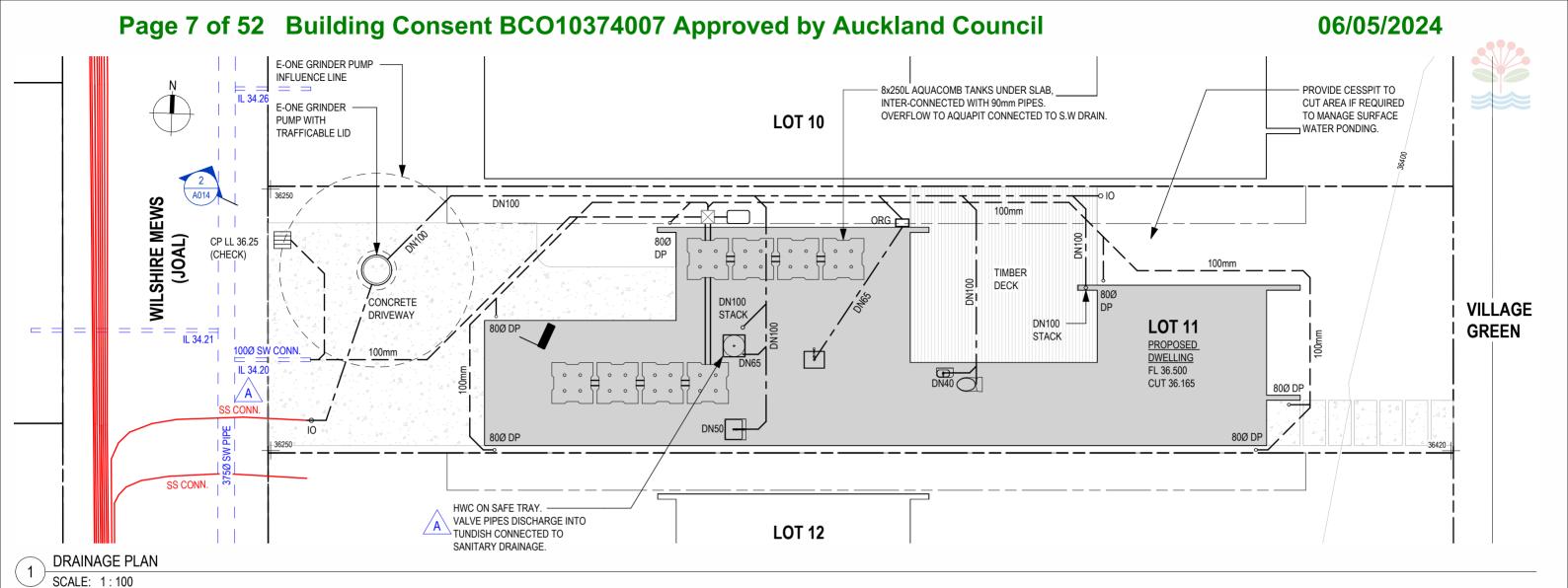
PROPOSED DEVELOPMENT LOT 11, 31 DYKE ROAD, KARAKA, PAPAKURA Office 79 Twomey Drive Pukekohe - postal: P.O. Box 278, Pukekohe 2340

Office 79 Twomey Drive Pukekohe - postal: P.O. Box 278, Pukekohe 2340

Office 79 Twomey Drive Pukekohe - postal: P.O. Box 278, Pukekohe 2340

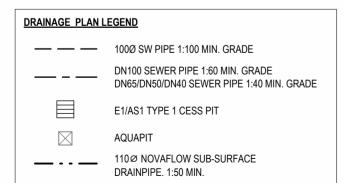
Office 79 Twomey Drive Pukekohe - postal: P.O. Box 278, Pukekohe 2340

i. TITLE:	EARTHWORKS PL		DWG. NO: A013	REV:
wn: NJW	CHECKED: GMB	SCALES: 1:100 at A3	JOB NO:	
GNED: GMB	DATE: OCT '23		1455	)





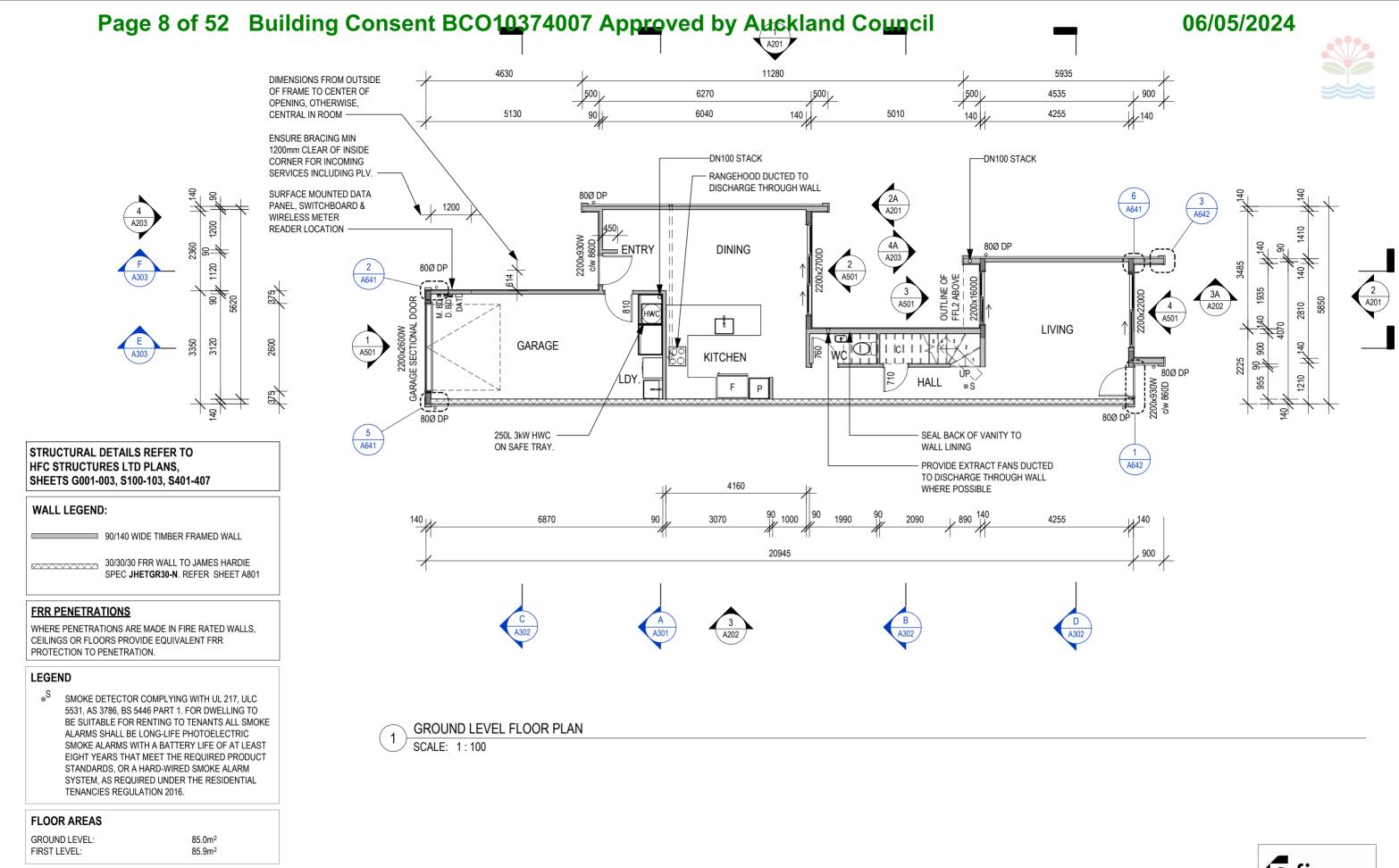
- EACH LOT SHALL ACHIEVE 2000L STORMWATER RETENTION
   AQUACOMB RETENTION TANK SYSTEM SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS
- 3. PERMEABLE PAVING INCLUDING SUB-SURFACE DRAINAGE SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS



# SITE SECTION SCALE: 1:50

# LOT 11; TYPE A1

ZONES WIND EQ DURABILITY CLIMATE		GMB DESIGN (2005) LTD.	PROPOSED DEVELOPMENT  AT HAD ALL AND	DWG. TITLE:	DRAINAGE PLAN	DWG. NO: REV:
BUILDING CONSENT APPL.	A 020424 ADDRESS UDDATED CENTRAL NO PA	ph (09) 239-1818 - e-mail: grant@gmb.co.nz Office: 79 Twomey Drive_Pukekohe - postal: P.O. Box 278, Pukekobe 2340	LOT 11, 31 DYKE ROAD, KARAKA, PAPAKURA FOR FOR THE STATE OF THE STATE	DRAWN: NJW DESIGNED: GMB	CHECKED: GMB  SCALES: As indicated at A3  DATE: OCT '23	<sup>3</sup> 1455



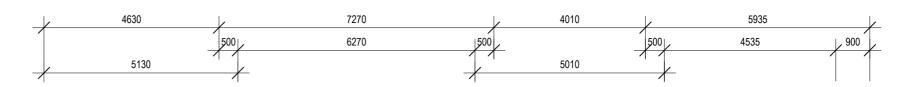
# LOT 11; TYPE A1

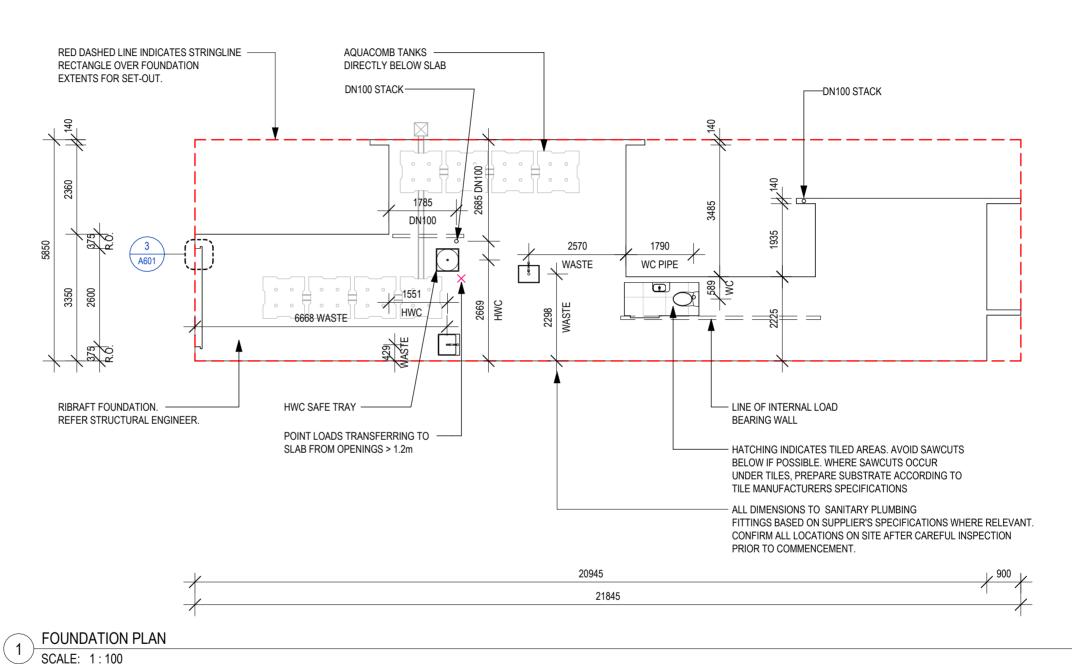
ZONES DIPARTITY CHARTE			PROPOSED DEVELOPMENT	DWG. TITLE:	ND LEVEL FLOOF	R PLAN	DWG. NO: REV:
WIND EQ DURABILITY CLIMATE HIGH 1 D 1		GMB DESIGN (2005) LTD. ph (09) 239-1818 - e-mail: grant@gmb.co.nz	LOT 11, 31 DYKE ROAD, KARAKA, PAPAKURA	DRAWN: NJW	CHECKED: GMB	SCALES:	JOB NO:
BUILDING CONSENT APPL.	A MOLES UPDATED CENTRU ROCCE I	Office: 79 Twomey Drive, Pukekohe - postal: P.Ö. Box 278, Pukekohe 2340	DCIL 10/MESSEREDIZENTIAL	DESIGNED: GMB	DATE: OCT '23	AS Indicated at A3	1455

# 06/05/2024



2810





# REFER HFC STRUCTURES LTD DRAWINGS S102, S401-403 FOR FOUNDATION DESIGN

REFER HFC STRUCTURAL DRAWINGS FOR DEEP FOOTING TO AVOID DRAINAGE EXCAVATION UNDERMINING SLABS. DETERMINE EXTENT OF DEEP FOOTING ON SITE AFTER CAREFUL COORDINATION WITH DRAINLAYER PRIOR TO COMMENCEMENT.

### **FOUNDATION PLAN**

ALL DIMENSIONS TO OUTSIDE OF FOUNDATION

### **FOUNDATION NOTES**

AND OUTGOING SERVICES PRIOR TO COMMENCEMENT.
2. CONTRACTOR SHALL CHECK DIMENSIONS SHOWN ON THIS FOUNDATION PLAN AGAINST LATEST APPROVED FLOOR PLAN TO ENSURE NO DISCREPANCIES. ALL DISCREPANCIES OR AMBIGUITIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO

1. CONFIRM LOCATION & SIZE OF ALL DUCTS FOR INCOMING

- COMMENCEMENT OF WORK. ALL DIMENSIONS FROM OUTSIDE FOUNDATION U.N.O.

  3. CONFIRM LOCATIONS & DEPTHS OF EXISTING PUBLIC
- 4. REFER ENGINEERS FOUNDATION PLAN AND DETAILS
  5. WHERE SERVICE CONDUITS TERMINATE ABOVE FLOOR AT
  LOWER LEVEL THAN OTHER END OF THE CONDUIT,
  PROVIDE Ø15mm HOLE IN UNDERSIDE OF THE SWEEP
  BEND ADJACENT SLAB AT THE LOWEST POINT & BED
  CONDUIT IN 300x300 DRAINAGE METAL PUT TO AVOID

HYDROSTATIC PRESSURE CAUSING FLOODING OF THE

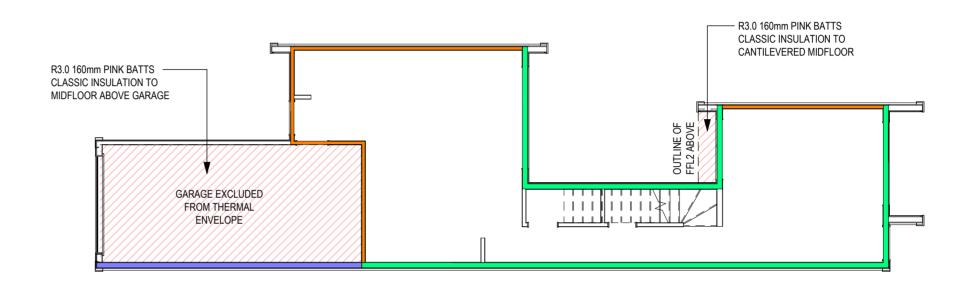
# LOT 11; TYPE A1

DRAINS PRIOR TO COMMENCEMENT.

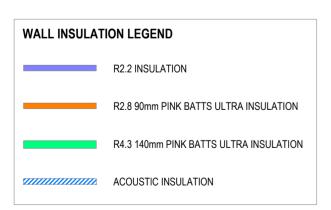
_	ANY DISCREPANCY OR REQUIREMENT FOR ADD	DITIONAL INFORMATION SHALL BE IMMEDIATELY BROUGH	IT TO THE DESIGNERS ATTENTION. WORK REQUI	RING CLARIFICATION SHALL NOT PROCEED UNDER ANY CI	RCUMSTANCES WITHOUT THE DESIGNERS FURTHER INSTRUCTION.				
	ZONES WIND EQ DURABILITY CLIMATE			GMB DESIGN (2005) LTD.	PROPOSED DEVELOPMENT  LOT 11, 31 DYKE ROAD, KARAKA, PAPAKURA	DWG. TITLE:	FOUNDATION PL	AN	DWG. NO: REV:
ŀ	BUILDING CONSENT APPL.	A 000424 NO A	ADDRESS UDDATED CENERAL OF RECEIVE	ph (09) 239-1818 - e-mail: grant@gmb.co.nz Office: 79 Twomey Drive Pukekohe - postal: P.O. Box 278, Bukekohe 2340	10/GWESSEREDIZENTIAL	DRAWN: NJW DESIGNED: GMB	DATE: OCT '23	SCALES: 1:100 at A3	ЈОВ NO: 1455







1 GROUND LEVEL WALL INSULATION PLAN
SCALE: 1:100

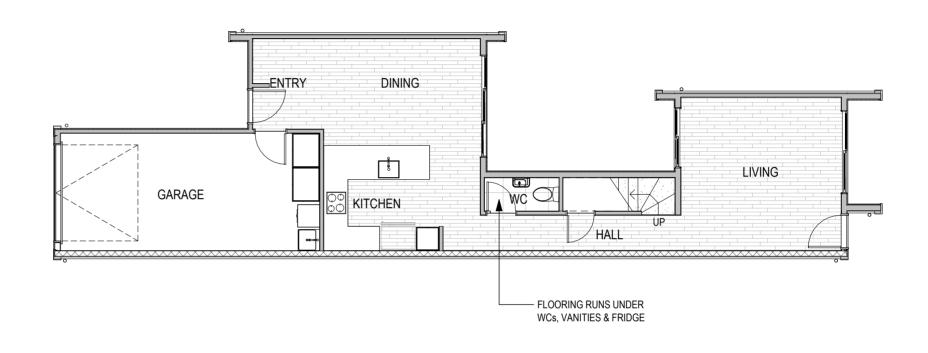


# LOT 11; TYPE A1

7.111 BIOGREF 7.1101 OF TRE QUITE INETT 1 OF TREE		TAIL OF THE POST OF THE POST PRODUCT OF THE OFFI	ACCINETATION THE BEGIONEROT ORTHER MOTROCTION.			
ZONES			PROPOSED DEVELOPMENT	DWG. TITLE:	NSULATION PLAN	A106 A
WIND EQ DURABILITY CLIMATE HIGH 1 D 1		GMB DESIGN (2005) LTD.	LOT 11, 31 DYKE ROAD, KARAKA, PAPAKURA	GROOND LEVEL II	NOULATION I LAIN	A 100 A
· · · ·	4 000404 4555550 4554550 4554554	ph (09) 239-1818 - e-mail: grant@gmb.co.nz Office:_79 Twomev Drive_Pukekohe - postal: P.O. Box 278, Bukekohe 2340	FOR	DRAWN: NJW CHECKED: GI	VIB SCALES: 1:100 at A3	JOB NO: 1455
BUILDING CONSENT APPL.	NO BICOTOSTATORO Receiv	Ved by Auckland Cou	ncil 10/01/ESSERESIZENTIAL	DESIGNED: GMB	23	1433

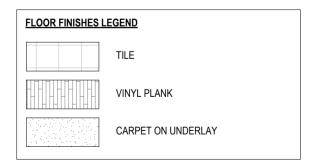






GROUND LEVEL FLOOR FINISHES

SCALE: 1:100



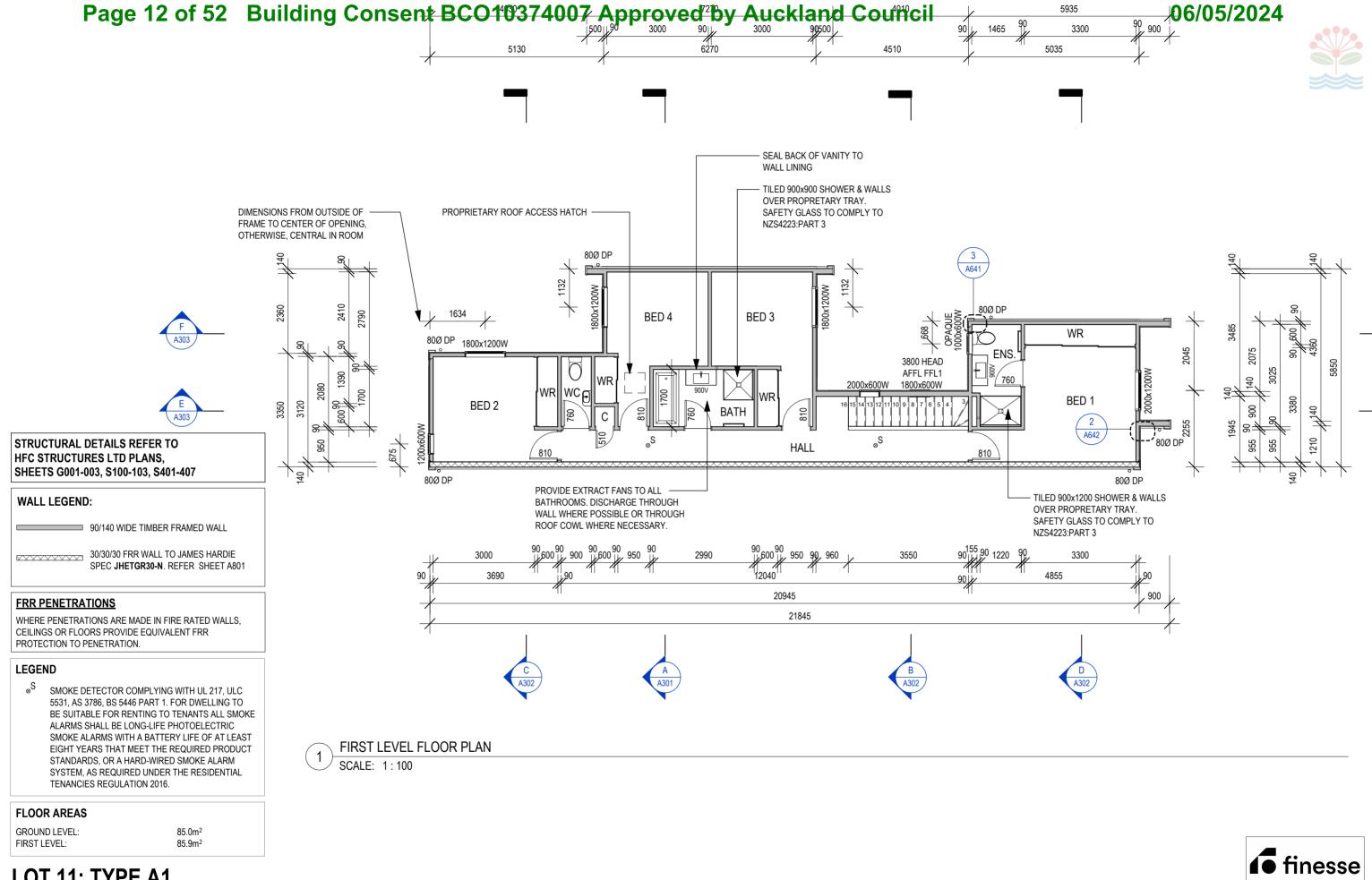
# LOT 11; TYPE A1

finesse

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ZONES WIND EQ DURABILITY CLIMATE	GMB DESIGN (2005) LTD.	PROPOSED DEVELOPMENT  LOT 11, 31 DYKE ROAD, KARAKA, PAPAKURA	GROUND L	EVEL FLOOR FIN	NISHES	A107 REV:
BUILDING CONSENT APPL.	ph (09) 239-1818 - e-mail: grant@gmb.co.nz  A 02.04 24 Appress uppater_Ceneral  No BA 2014 24 Appress uppater Ceneral  Recel (Control of the control of the	Incil 10/(INESSERE) LENTIAL	DRAWN: NJW CHE DESIGNED: GMB DAT	ATE: OCT '23	CALES: 1:100 at A3	<sup>ЈОВ NO:</sup> 1455

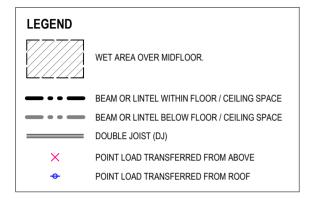


# LOT 11; TYPE A1

ZONES WIND EQ DURABILITY CLIMATE		GMB DESIGN (2005) LTD.	PROPOSED DEVELOPMENT	DWG. TITLE:	T LEVEL FLOOR PI	LAN	A111 REV:
BUILDING CONSENT APPL.	A PORT APPRESS UPDATED ENERAL RECEIVE	ph (09) 239-1818 - e-mail: grant@gmb.co.nz Office: 79 Twomey Drive, Pukekohe - postal: P.O. Box 278, Pukekohe 2340	LOT 11, 31 DYKE ROAD, KARAKA, PAPAKURA	DRAWN: NJW DESIGNED: GMB	CHECKED: GMB SC.  DATE: OCT '23	ALES: As indicated at A3	JOB NO: 1455



### STRUCTURAL DETAILS REFER TO HFC STRUCTURES LTD PLANS, SHEETS G001-003, S100-103, S401-407



### **MIDFLOOR FRAMING NOTES**

### GENERA

USE "THRU JOIST" BRACKETS OR PROPRIETARY JOISTS WHERE REQUIRED FOR PLUMBING AND VENTILATION PENETRATIONS.



"THRU JOIST" BRACKET

### PROPRIETARY FLOOR JOIST SYSTEMS

MANUFACTURERS OF PROPRIETARY FLOOR JOIST SYSTEMS SHALL PROVIDE PRODUCER STATEMENT FOR FLOOR SYSTEM. FLOOR SYSTEM SHALL BE DESIGNED AND INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS INCLUDING PROVISIONS FOR LATERAL SUPPORT AND GENERAL FIXING.

### PIPES AND VENTS

MANUFACTURER / SUPPLIER SHALL CHECK AND ALLOW FOR ALL PLUMBING PIPES AND VENTILATION DUCTS. CONFIRM WITH PLUMBER THAT ADEQUATE FALLS AVAILABLE WITHIN FLOOR SPACE PRIOR TO COMMENCEMENT. USE 'THRU JOIST' BRACKETS FOR PENETRATIONS WHERE POSSIBLE.

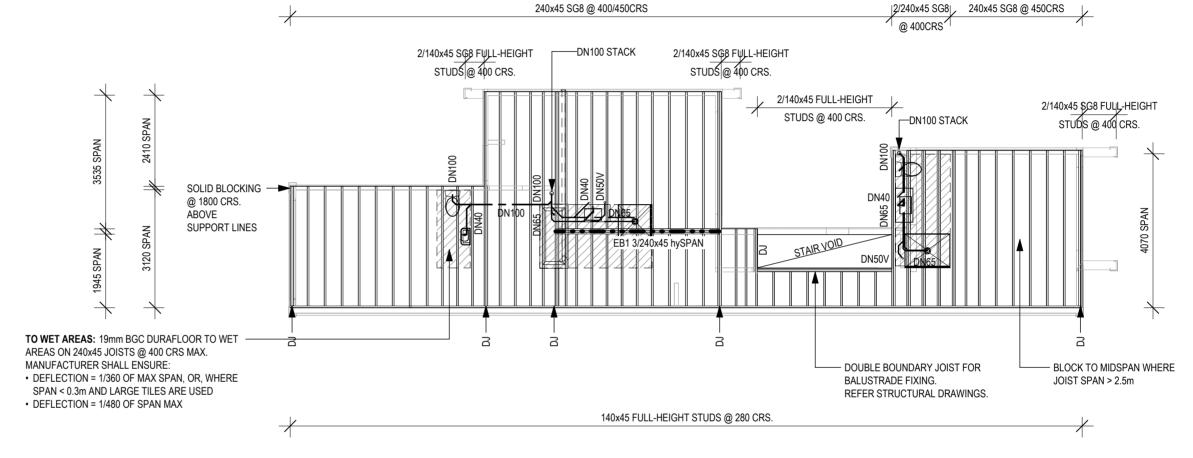
### IMBER TREATMEN

ALL TIMBER TREATMENT TO NZS 3602:2003 & NZS 3640:2004. FLOORING BELOW WET AREAS SHALL BE H3 CCA TREATED. FLOOR FRAMING BELOW DRY AREAS SHALL BE H1.2 TREATED.

### **PLUMBING & DRAINAGE NOTES**

- ALL PLUMBING AND DRAINAGE TO AS/NZS 3500.2:2018
- OVERFLOW RELIEF GULLY MUST BE 175mm BELOW OVERFLOW LEVEL OF LOWEST SANITARY FIXTURE AND 100mm ABOVE F.G.L.
- MINIMUM PIPE GRADIENTS (UNLESS OTHERWISE SPECIFIED)

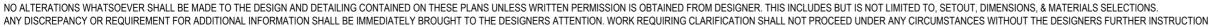
100mm I.D.	1:60
80mm I.D.	1:60
65mm I.D.	1:40
40mm I.D.	1:40



MIDFLOOR FRAMING PLAN

SCALE: 1:100

# LOT 11; TYPE A1



ZONES						
WIND	EQ	DURABILITY	CLIMATE			
HIGH	1	D	1			
BUILDING CONSENT APPL.						

	PROPOSED DEVELOPMENT
GMB DESIGN (2005) LTD.	AT
ab (00) 220 1919 a mail: areat@amb as an	LOT 11, 31 DYKE ROAD, KARAKA, PAPAKURA

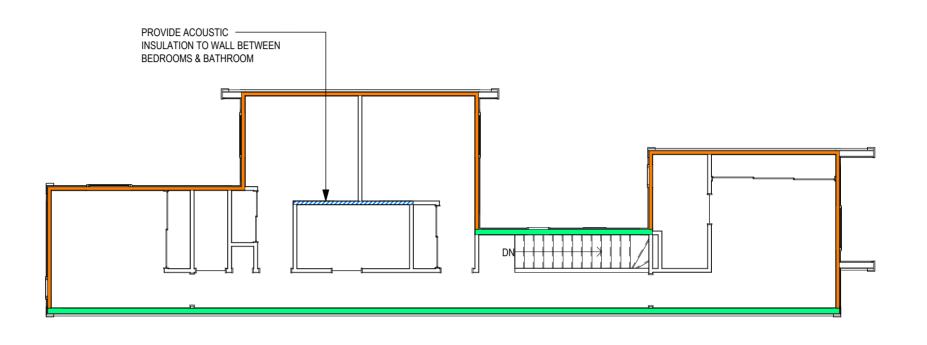
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MIDFLOOR FRAMING PLAN

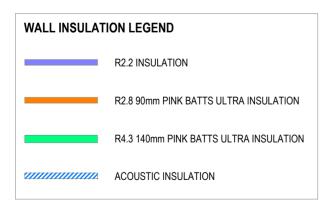
NJW | CHECKED: GMB | SCALES: As indicated at A3 | MIDFLOOR FRAMING PLAN | A | MIDFLOOR FRAM

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FIRST LEVEL WALL INSULATION PLAN
SCALE: 1:100

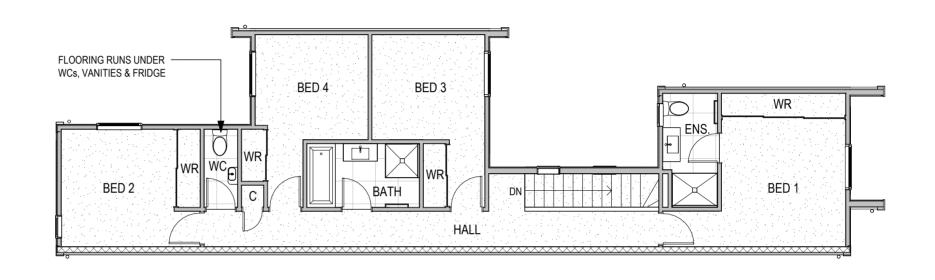


# LOT 11; TYPE A1

ANY DISCREPANCY OR REQUIREMENT FOR ADL	DITIONAL INFORMATION SHALL BE IMMEDIATELY BROOK	BHT TO THE DESIGNERS ATTENTION. WORK REQUI	RING CLARIFICATION SHALL NOT PROCEED UNDER ANY CIT	RCUMSTANCES WITHOUT THE DESIGNERS FURTHER INSTRUCTION.				
ZONES				PROPOSED DEVELOPMENT	DWG. TITLE:	_OOR WALL INS	LIL ATION	DWG. NO: REV:
WIND EQ DURABILITY CLIMATE			GMB DESIGN (2005) LTD.	LOT 11, 31 DYKE ROAD, KARAKA, PAPAKURA	11110111	LOUIT WALL INS	OLATION	ATTO
HIGH   I   D   I	-		ph (09) 239-1818 - e-mail: grant@gmb.co.nz	FOR	DRAWN: NJW	CHECKED: GMB	SCALES: 1:100 at A3	JOB NO:
BUILDING CONSENT APPL.	A 0304	APPRESS UPDATED CENERAL TO PROCESS	Office: 79 Livomey Drive, Pukekone - postar: P.O. Box 278, Pukekone 2340	ncil 10/MINESSEREDIMENTIAL	DESIGNED: GMB	DATE: OCT '23	1	1400







1 FIRST LEVEL FLOOR FINISHES
SCALE: 1:100

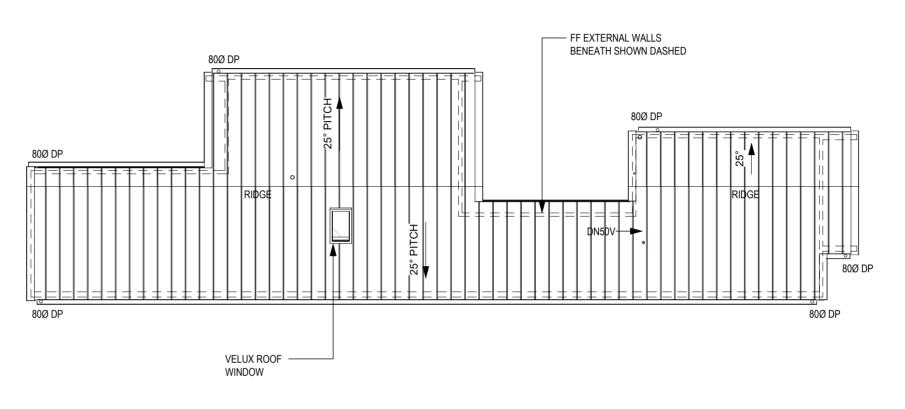


# LOT 11; TYPE A1

ZONES			PROPOSED DEVELOPMENT	DWG. TITLE:	LEVEL FLOOR FI	INICHES	DWG. NO: REV:
WIND EQ DURABILITY CLIMATE HIGH 1 D 1		GMB DESIGN (2005) LTD.	LOT 11, 31 DYKE ROAD, KARAKA, PAPAKURA	DRAWN: NI INA	CHECKED: CMP	SCALES:	JOB NO:
BUILDING CONSENT APPL.	A BOC OTTO RECEIVE	ph (09) 239-1818 - e-mail: grant@gmb.co.nz Office: 79 Twomey Drive, Pukekohe - postal: P.O. Box 278, Pukekohe 2340	DCI 10/MMESSEREDMENTIAL	DESIGNED: GMB	DATE: OCT '23	1 : 100 at A3	1455







**ROOF PLAN** SCALE: 1:100

SURFACE WATER:	
IN ACCORDANCE WITH NZBC E1/AS1 (TABLE 5)	
NUMBER OF DOWNPIPES REQUIRED FOR EACH CATCHMENT:	
LARGEST ROOF CATCHMENT AREA (PLAN AREA)	= 31.00m <sup>2</sup>
THEREFORE MIN. NO. OF 80 Ø DP's (1 PER 85m²)	= 1
IN ACCORDANCE WITH MRM CODE OF PRACTICE V3.0	
MAXIMUM CAPACITY ROOF AREA ALLOWED	
EXTERNAL GUTTER TYPE: 'CUBE 125'	
MAXIMUM ROOF CATCHMENT AREA (PLAN AREA) ALLOWED	= 53.31m <sup>2</sup>
MAXIMUM ROOF CATCHMENT AREA (PLAN AREA) PROPOSED	= 31.00m <sup>2</sup>
, , ,	
IN ACCORDANCE WITH NZBC E1/AS1 (FIGURE 15)	
CROSS SECTIONAL AREA OF GUTTER REQUIRED:	
MAXIMUM ROOF CATCHMENT AREA (PLAN AREA)	= 31.00m <sup>2</sup>
THEREFORE CROSS SECTIONAL AREA OF GUTTER REQUIRED	
APPLYING FACTOR OF 100mm/hr x 1.38 (E1/AS1 5.1.3)	= 5520mm <sup>2</sup>
CROSS SECTIONAL AREA OF GUTTER PROPOSED	= 7412mm <sup>2</sup> - OK

# LOT 11; TYPE A1

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GMB DESIGN (2005) LTD.

GMB DESIGN (2005) LTD.	PROPOSED DEVELOPMENT  LOT 11, 31 DYKE ROAD, KARAKA, PAPAKURA	DWG. TITLE:	ROOF PLAI
ph (09) 239-1818 - e-mail: grant@gmb.co.nz	EOD	DRAWN: NJW	CHECKED: GMB
ffice: 79 Twomey Drive, Pukekohe - postal: P.Ö. Box 278, Pukekohe 2340	CIL 10/GINESSER ENTIAL	DESIGNED: GMB	DATE: OCT '23

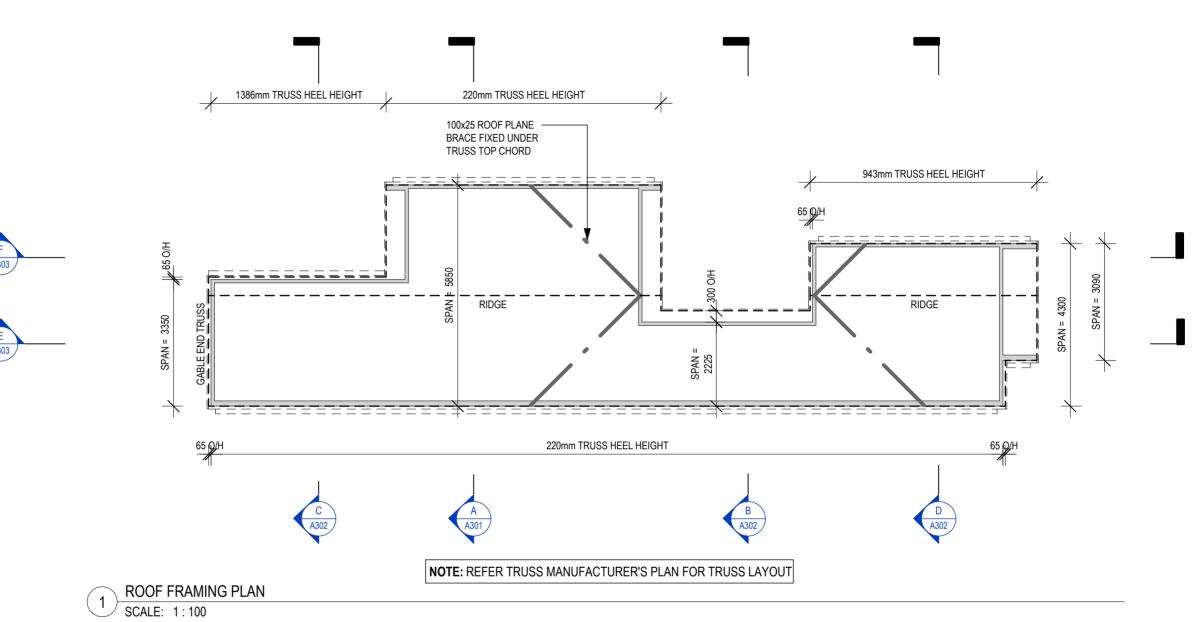


A191

1455

**ROOF PLAN** 





### **MANUFACTURER SHALL**

- 1. PROVIDE PRODUCER STATEMENT FOR TRUSS SYSTEM. TRUSS SYSTEM SHALL BE DESIGNED & INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS INCLUDING PROVISIONS FOR LATERAL SUPPORT & GENERAL FIXING.
- 2. ENSURE CANTILEVER TRUSS DEFLECTIONS ARE NOT GREATER THAN 10mm UNDER DEAD, LIVE & CREEP LOADS.
- 3. ALLOW FOR FACE LOADS & SUPPORT FOR CLADDING SYSTEM TO GABLE ENDS.
- 4. CONFIRM ROOF PITCH, SOFFIT BEARER HEIGHT, ALUMINIUM JOINERY SECTION AND OVERHANG SUIT CHOSEN FASCIA SYSTEM. ENSURE BEAMS DO NOT PROTRUDE BELOW SOFFIT.

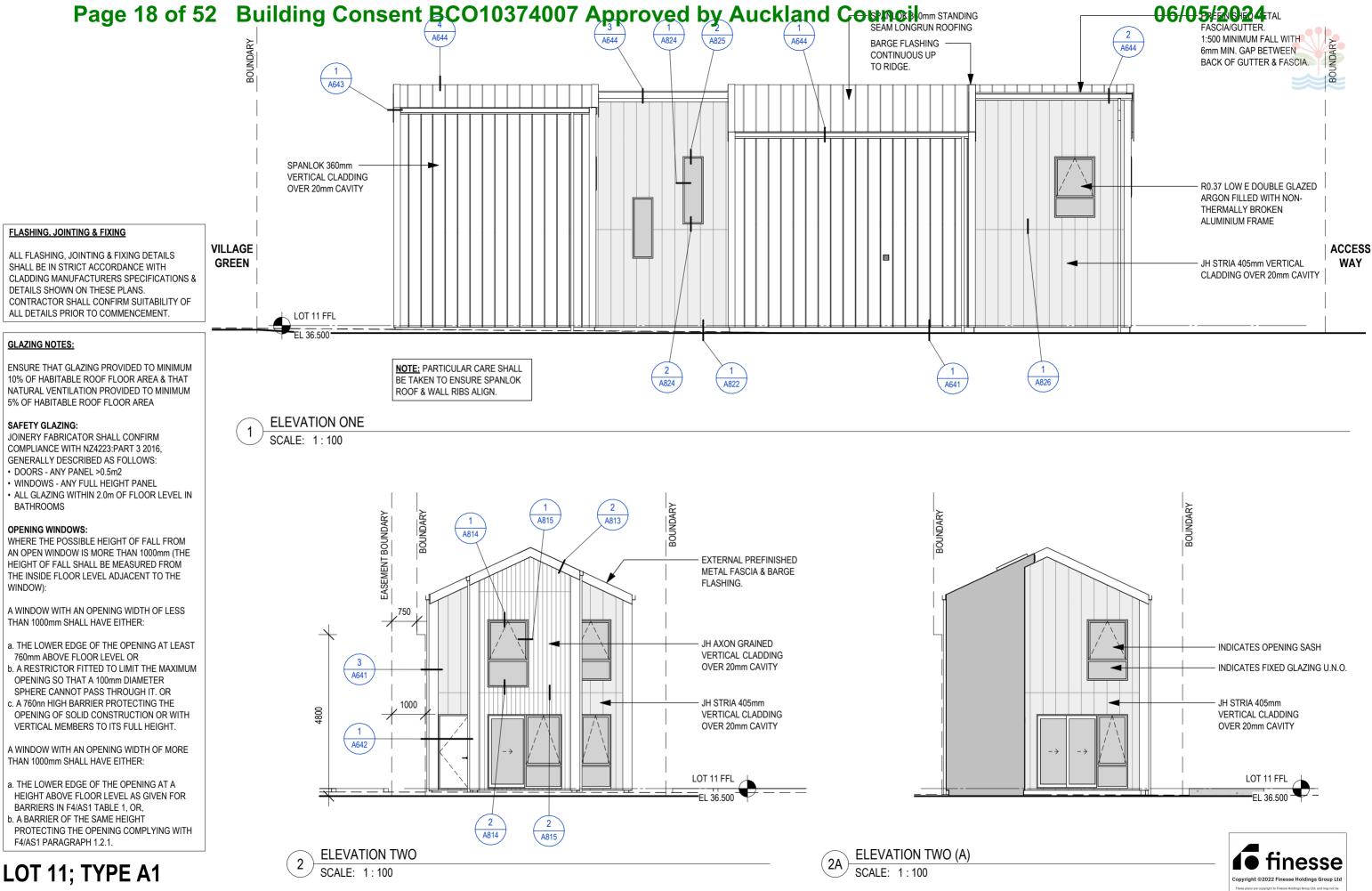
### ROOF BRACING

ROOF AREA =  $93m^2$ BRACES REQUIRED -  $93m^2/50$  = 2

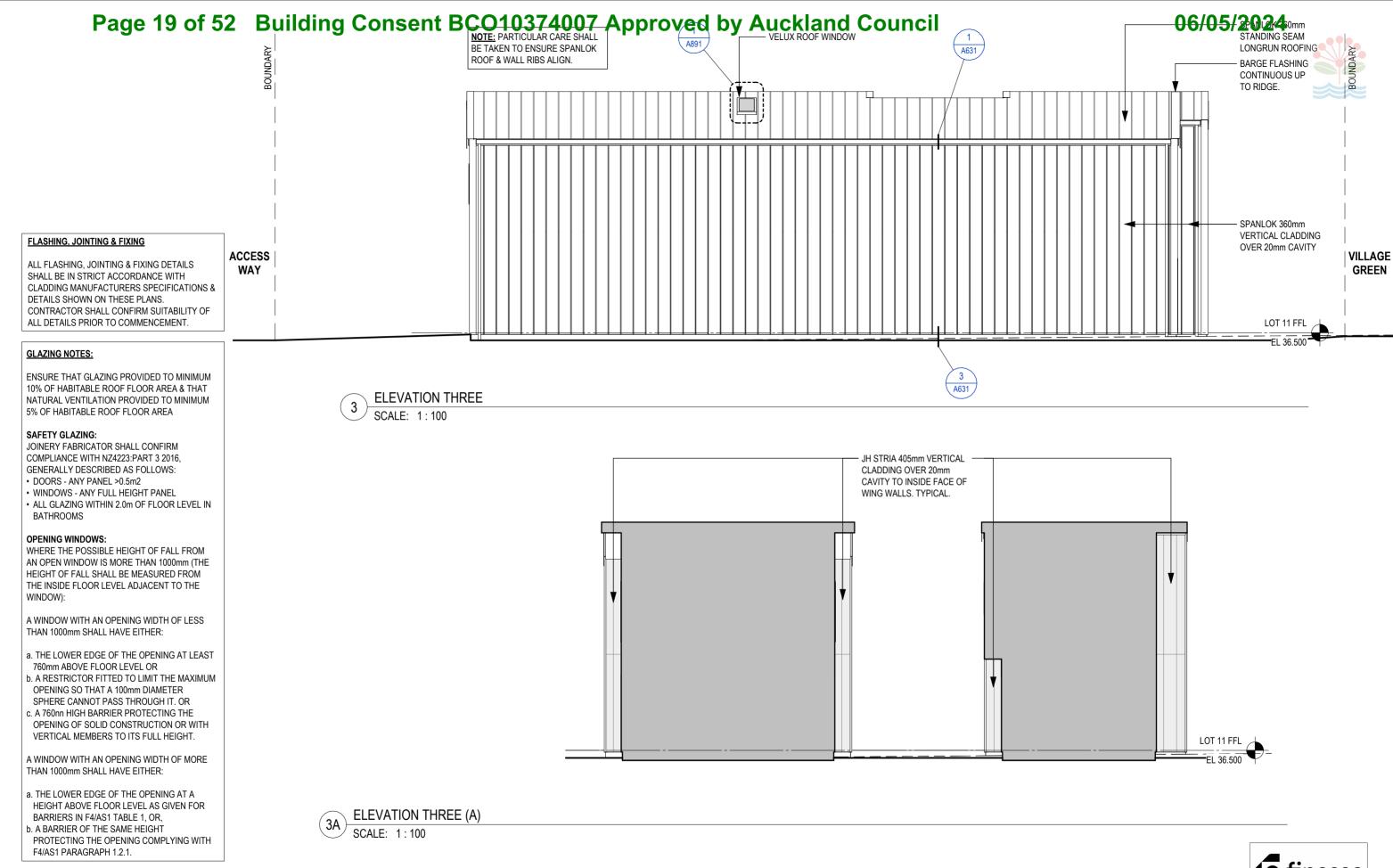
# **LOT 11; TYPE A1**

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	ZONES				PROPOSED DEVELOPMENT	DWG. TITLE:	OOF FRAMING P	ΙΛΝ	DWG. NO: REV:
$\vdash$	WIND EQ DURABILITY CLIMATE			GMB DESIGN (2005) LTD.	LOT 11, 31 DYKE ROAD, KARAKA, PAPAKURA	110		LAN	A192 A
$\vdash$	DUIL DINC CONSENT ADDI		LADDESO LIDATED OF LEDAL	ph (09) 239-1818 - e-mail: grant@gmb.co.nz Office:_79 Twomey Drive_Pukekohe - postal: ₽.O. Box 278, Pukekohe 2340	FOR	DRAWN: NJW	CHECKED: GMB	SCALES: As indicated at A3	JOB NO: 1455
	BUILDING CONSENT APPL.	A MO A	OTO374007 Recei	Veolov Auckland Cou	DCIL 10/GINESSEGENTIAL	DESIGNED: GMB	DATE: OCT '23		1400





ZONES			PROPOSED DEVELOPMENT	DWG. TITLE:	ELEVATIONS	DWG. NO: REV:
WIND EQ DURABILITY CLIMATE HIGH 1 D 1		GMB DESIGN (2005) LTD.	LOT 11, 31 DYKE ROAD, KARAKA, PAPAKURA	DRAWN: N. INA/	CHECKED: ON A D. SCALES:	JOB NO:
BUILDING CONSENT APPL.	A ADDRESS UPDATED SENERAL OF ROCKET	ph (09) 239-1818 - e-mail: grant@gmb.co.nz Office: 79 Twomey Drive, Pukekohe - postal: P.O. Box 278, Pukekohe 2340	CIL 10/JUNESSER ESTRENTIAL	DESIGNED: GMB	DATE: OCT '23	1455



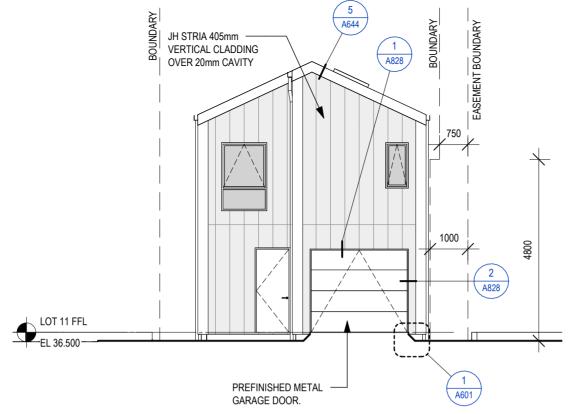
# LOT 11; TYPE A1

NO ALTERATIONS WHATSOEVER SHALL BE MADE TO THE DESIGN AND DETAILING CONTAINED ON THESE PLANS UNLESS WRITTEN PERMISSION IS OBTAINED FROM DESIGNER. THIS INCLUDES BUT IS NOT LIMITED TO, SETOUT, DIMENSIONS, & MATERIALS SELECTIONS.

ANY DISCREPANCY OF REQUIREMENT FOR ADDITIONAL INFORMATION SHALL BE IMMEDIATELY REQUIRED ANY CIRCLINGTANCES WITHOUT THE DESIGNERS FLIGTHER INSTRUCTION.

ZONES WIND EQ DURABILITY CLIMATE		GMB DESIGN (2005) LTD.	PROPOSED DEVELOPMENT	DWG. TITLE:	ELEVATIONS	A202 REV:
BUILDING CONSENT APPL.	A 02.04.24 NO A	ph (09) 239-1818 - e-mail: grant@gmb.co.nz  ADDRESS UDDATED. CENERAL  Office: 79 Twomey Drive, Pukekohe - postal: P.O. Box 278, Pukekohe 2340	LOT 11, 31 DYKE ROAD, KARAKA, PAPAKURA  FOR  FOR  FOR  FOR  FOR  FOR  FOR  F	DRAWN: NJW DESIGNED: GMB	CHECKED: GMB SCALES: As indicated at A3  DATE: OCT '23	JOB NO: 1455

# Page 20 of 52 Building Consent BCO10374007 Approved by Auckland Council





**ELEVATION FOUR** 

SCALE: 1:100

**ELEVATION FOUR (A)** SCALE: 1:100

### **FLASHING, JOINTING & FIXING**

ALL FLASHING. JOINTING & FIXING DETAILS SHALL BE IN STRICT ACCORDANCE WITH CLADDING MANUFACTURERS SPECIFICATIONS & DETAILS SHOWN ON THESE PLANS. CONTRACTOR SHALL CONFIRM SUITABILITY OF ALL DETAILS PRIOR TO COMMENCEMENT.

### **GLAZING NOTES:**

ENSURE THAT GLAZING PROVIDED TO MINIMUM 10% OF HABITABLE ROOF FLOOR AREA & THAT NATURAL VENTILATION PROVIDED TO MINIMUM 5% OF HABITABLE ROOF FLOOR AREA

### SAFETY GLAZING:

JOINERY FABRICATOR SHALL CONFIRM COMPLIANCE WITH NZ4223:PART 3 2016, GENERALLY DESCRIBED AS FOLLOWS: DOORS - ANY PANEL >0.5m2

- WINDOWS ANY FULL HEIGHT PANEL
- ALL GLAZING WITHIN 2.0m OF FLOOR LEVEL IN **BATHROOMS**

### **OPENING WINDOWS:**

WHERE THE POSSIBLE HEIGHT OF FALL FROM AN OPEN WINDOW IS MORE THAN 1000mm (THE HEIGHT OF FALL SHALL BE MEASURED FROM THE INSIDE FLOOR LEVEL ADJACENT TO THE

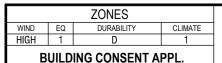
A WINDOW WITH AN OPENING WIDTH OF LESS THAN 1000mm SHALL HAVE EITHER:

- a. THE LOWER EDGE OF THE OPENING AT LEAST 760mm ABOVE FLOOR LEVEL OR
- b. A RESTRICTOR FITTED TO LIMIT THE MAXIMUM OPENING SO THAT A 100mm DIAMETER SPHERE CANNOT PASS THROUGH IT. OR
- c. A 760nn HIGH BARRIER PROTECTING THE OPENING OF SOLID CONSTRUCTION OR WITH VERTICAL MEMBERS TO ITS FULL HEIGHT.

A WINDOW WITH AN OPENING WIDTH OF MORE THAN 1000mm SHALL HAVE EITHER:

- a. THE LOWER EDGE OF THE OPENING AT A HEIGHT ABOVE FLOOR LEVEL AS GIVEN FOR BARRIERS IN F4/AS1 TABLE 1, OR,
- b. A BARRIER OF THE SAME HEIGHT PROTECTING THE OPENING COMPLYING WITH F4/AS1 PARAGRAPH 1.2.1.

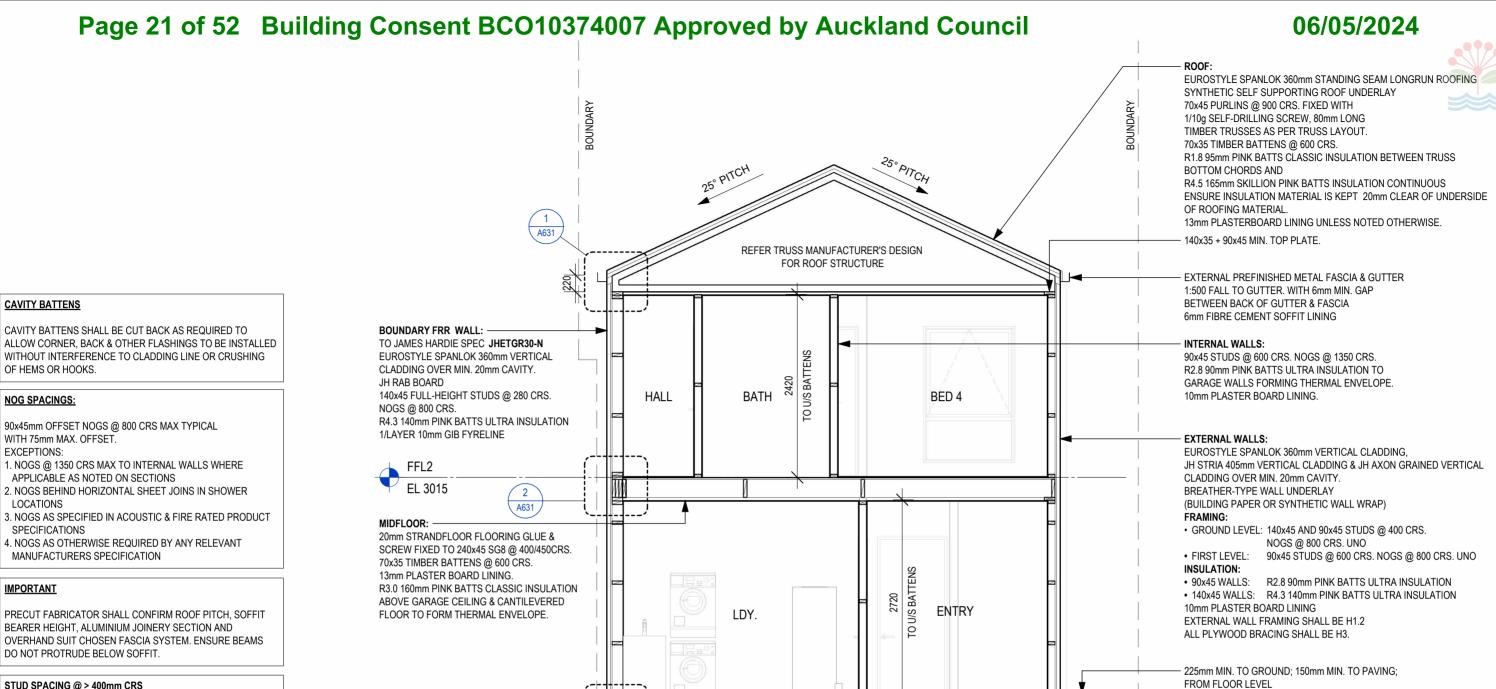
# LOT 11; TYPE A1







WG. TITLE:			DWG. NO:	REV:
	ELEVATIONS	3	A203	Α
RAWN: NJW	CHECKED: GMB	SCALES: As indicated at A3	JOB NO:	5
ESIGNED: GMB	DATE: OCT '23		145	J



### STUD SPACING @ > 400mm CRS

**CAVITY BATTENS** 

**NOG SPACINGS:** 

EXCEPTIONS:

LOCATIONS

**IMPORTANT** 

**SPECIFICATIONS** 

WHERE STUDS ARE SPACES > 400mm CRS, INTERMEDIATE SUPPORT SHALL BE PROVIDED TO WALL UNDERLAY TO STOP UNDERLAY & INSULATION BULGING INTO CAVITY.

### **UNDERLAYS & TAPES**

- WALL UNDERLAY: THERMAKRAFT WATERGATE
- WHERE REQUIRED ROOF UNDERLAY: THERMAKRAFT **COVERTEK 407 SELF SUPPORTING**
- FLASHING TAPE: 3M ALL WEATHER FLASHING TAPE 8067

**IMPORTANT: PROVIDE SOLID FRAMING OR SUBSTRATE** BACKING TO ALL MEMBRANE OR FLASHING TAPE & ENSURE FULL ADHERENCE TO UNDERLAY OR SUBSTRATE.

### **WINDOW PACKERS**

KEEP ALL WINDOW PACKERS MIN. 20mm FROM INSIDE FACE OF FRAME TO ALLOW FOR CONTINUOUS AIR SEAL

# SCALE: 1:50

**SECTION A** 

# LOT 11; TYPE A1

NO ALTERATIONS WHATSOEVER SHALL BE MADE TO THE DESIGN AND DETAILING CONTAINED ON THESE PLANS UNLESS WRITTEN PERMISSION IS OBTAINED FROM DESIGNER. THIS INCLUDES BUT IS NOT LIMITED TO, SETOUT, DIMENSIONS, & MATERIALS SELECTIONS. ANY DISCREPANCY OR REQUIREMENT FOR ADDITIONAL INFORMATION SHALL BE IMMEDIATELY BROUGHT TO THE DESIGNERS FURTHER INSTRUCTION. WORK REQUIRING CLARIFICATION SHALL NOT PROCEED UNDER ANY CIRCUMSTANCES WITHOUT THE DESIGNERS FURTHER INSTRUCTION.

ZONES PROPOSED DEVELOPMENT SECTION A301 GMB DESIGN (2005) LTD. LOT 11, 31 DYKE ROAD, KARAKA, PAPAKURA NJW ECKED: GMB 1455 A COLOR OF TWO PORTS OF TWO POR **BUILDING CONSENT APPL.** GMB: GMB OCT '23



CONCRETE RIB-RAFT FLOOR ON DPC.

REFER ENGINEER'S DETAILS FOR BASE & FLOOR CONSTRUCTION.

# Page 22 of 52 Building Consent BCO10374007 Approved by Auckland Council

HALL

HALL

MANUFACTURER'S

DESIGN FOR ROOF STRUCTURE

SECTION B

SCALE: 1:50

# FFL2 EL 3015 GARAGE FFL1 EL 0

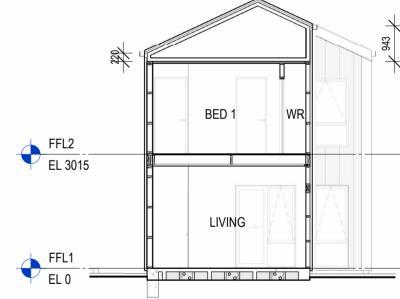
06/05/2024

# C SECTION C SCALE: 1:100

FFL2

EL 0

EL 3015



# SECTION D

### **CAVITY BATTENS**

CAVITY BATTENS SHALL BE CUT BACK AS REQUIRED TO ALLOW CORNER, BACK & OTHER FLASHINGS TO BE INSTALLED WITHOUT INTERFERENCE TO CLADDING LINE OR CRUSHING OF HEMS OR HOOKS.

### **NOG SPACINGS:**

90x45mm OFFSET NOGS @ 800 CRS MAX TYPICAL WITH 75mm MAX. OFFSET. EXCEPTIONS:

- 1. NOGS @ 1350 CRS MAX TO INTERNAL WALLS WHERE APPLICABLE AS NOTED ON SECTIONS
- 2. NOGS BEHIND HORIZONTAL SHEET JOINS IN SHOWER LOCATIONS
- 3. NOGS AS SPECIFIED IN ACOUSTIC & FIRE RATED PRODUCT SPECIFICATIONS
- 4. NOGS AS OTHERWISE REQUIRED BY ANY RELEVANT MANUFACTURERS SPECIFICATION

### **IMPORTANT**

PRECUT FABRICATOR SHALL CONFIRM ROOF PITCH, SOFFIT BEARER HEIGHT, ALUMINIUM JOINERY SECTION AND OVERHAND SUIT CHOSEN FASCIA SYSTEM. ENSURE BEAMS DO NOT PROTRUDE BELOW SOFFIT.

### STUD SPACING @ > 400mm CRS

WHERE STUDS ARE SPACES > 400mm CRS, INTERMEDIATE SUPPORT SHALL BE PROVIDED TO WALL UNDERLAY TO STOP UNDERLAY & INSULATION BULGING INTO CAVITY.

### **UNDERLAYS & TAPES**

- WALL UNDERLAY: THERMAKRAFT WATERGATE
- WHERE REQUIRED ROOF UNDERLAY: THERMAKRAFT COVERTEK 407 SELF SUPPORTING
- FLASHING TAPE: 3M ALL WEATHER FLASHING TAPE 8067

IMPORTANT: PROVIDE SOLID FRAMING OR SUBSTRATE BACKING TO ALL MEMBRANE OR FLASHING TAPE & ENSURE FULL ADHERENCE TO UNDERLAY OR SUBSTRATE.

### **WINDOW PACKERS**

KEEP ALL WINDOW PACKERS MIN. 20mm FROM INSIDE FACE OF FRAME TO ALLOW FOR CONTINUOUS AIR SEAL.

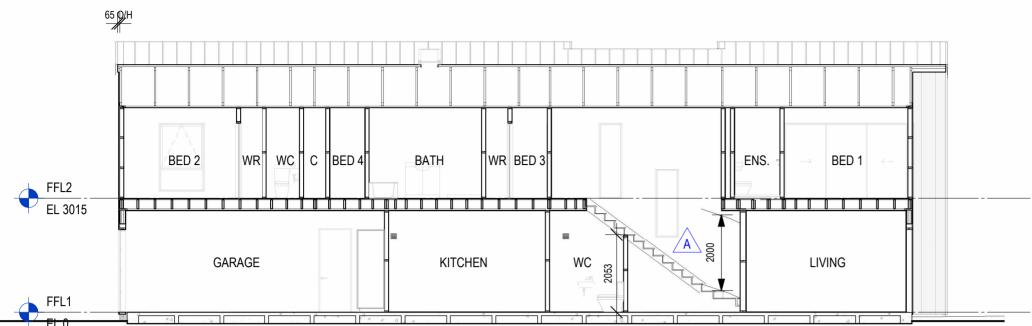
# LOT 11; TYPE A1

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ZONES			PROPOSED DEVELOPMENT	DWG. TITLE:	SECTION		A302	EV:
WIND EQ DURABILITY CLIMATE HIGH 1 D 1		GMB DESIGN (2005) LTD.	LOT 11, 31 DYKE ROAD, KARAKA, PAPAKURA		OLOTION	Tanana .		
BUILDING CONSENT APPL.	A 00.04.04 ADDDECCUDATED CENTRAL	ph (09) 239-1818 - e-mail: grant@gmb.co.nz Office:_79 Twomey Drive_Pukekohe - postal: P.O. Box 278, Pukekohe 2340	FOR	DRAWN: NJW	CHECKED: GMB	As indicated at A3	JOB NO: 1455	
BUILDING CONSENT APPL.	**************************************	ved by Auckland Cou	INCIL 10/01/ESSERESIZENTIAL	DESIGNED: GMB	DATE: OCT '23		1400	

# Page 23 of 52 Building Consent BCO10374007 Approved by Auckland Council







SECTION E
SCALE: 1:100

FFL2
EL 3015

ENTRY DINING

LIVING

HANDRAIL ONE SIDE TO NZBC
D1/AS1 FIG.26

280 MIN.
32-50
40-60
25 MAX.

SECTION F
SCALE: 1:100

STAIR TREAD DETAIL - MAIN PRIVATE

1 SCALE: 1:20

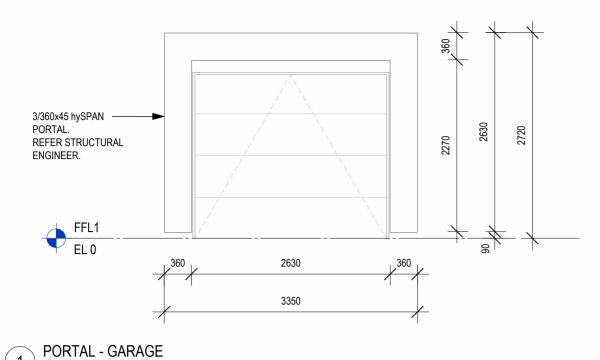
# LOT 11; TYPE A1

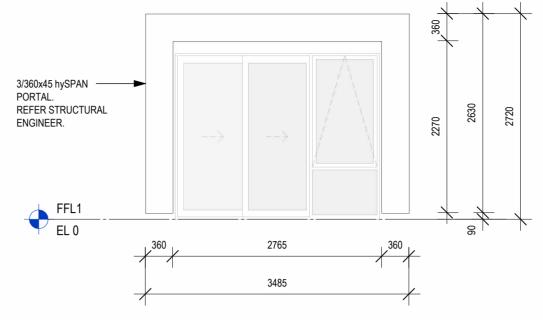
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ZONES			PROPOSED DEVELOPMENT	DWG. TITLE:	SECTION		DWG. NO: REV:
WIND EQ DURABILITY CLIMATE		GMB DESIGN (2005) LTD.	AT AT ALL OLD DAVIE DOAD, IVADAVA, DADAVADA		SECTION	ļ	ASUS A
HIGH   1   D   1		nh (09) 239-1818 - e-mail: grant@gmh co nz	LOT 11, 31 DYKE ROAD, KARAKA, PAPAKURA	DRAWN: N IW	CHECKED: GMB	SCALES:	JOB NO:
BUILDING CONSENT APPL.	A 020424 APPRESS UPDATED CENERAL	Office: 79 Twomey Drive, Pukekohe - postal: P.O. Box 278, Pukekohe 2340	FOR	DESIGNED: CAAD	DATE: OOT 100	As indicated at A3	1455
	NO SAE TO A THOU SAC A CONTRACT OF THE PROPERTY OF THE PROPERT	Vad hv Alickland Coll	ncil 10/MINESSEREDINENTIAL	GMB	DATE: OCT '23	,	

# Page 24 of 52 Building Consent BCO10374007 Approved by Auckland Council





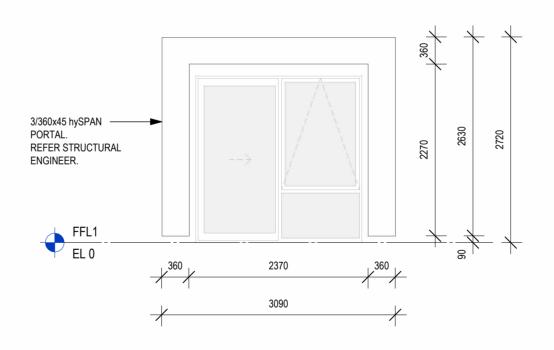




PORTAL - DINING SCALE: 1:50

3/360x45 hySPAN **PORTAL** REFER STRUCTURAL ENGINEER. FFL1 EL 0 2335

PORTAL - LIVING 1 SCALE: 1:50



PORTAL - LIVING 2 SCALE: 1:50

# LOT 11; TYPE A1

SCALE: 1:50

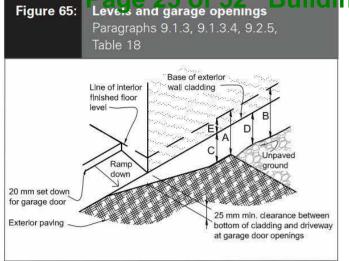
ZONES				
WIND	EQ	DURABILITY	CLIMATE	
HIGH	1	D	1	
BUILDING CONSENT APPL.				

GMB DESIGN (2005) LTD.					
ph (09) 239-1818 - e-mail: grant@gmb.co.nz					

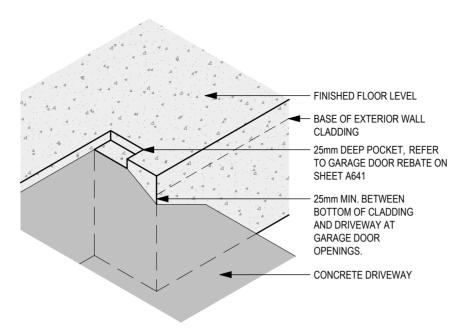
VG. TITLE:	DWG. NO: A501	REV:		
RAWN: NJW	CHECKED: GMB	SCALES: 1 : 50 at A3	JOB NO:	_
SIGNED: GMB	DATE: OCT '23		1455	

# Page 25 of 52 Building Consent BCO10374007 Approved by Auckland Council

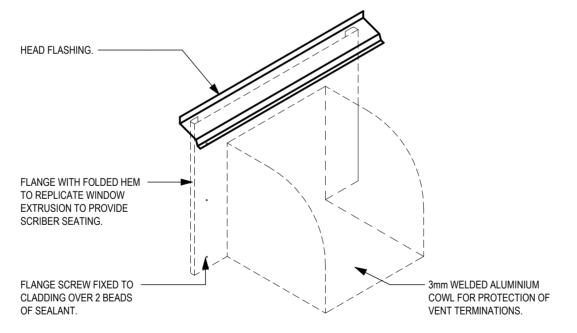
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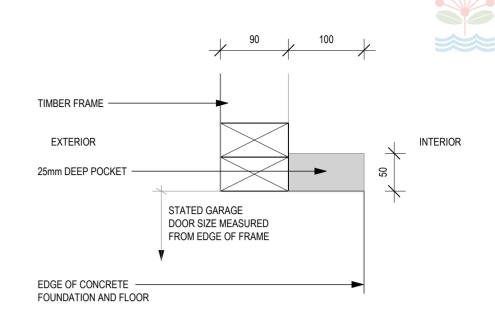


**GARAGE DOOR REBATE 3D** SCALE: 1:10

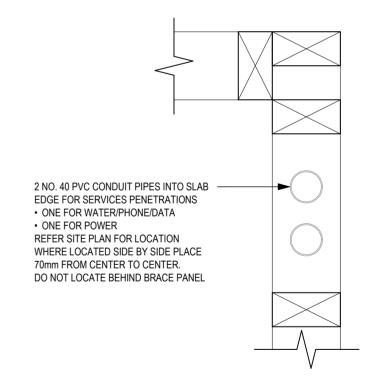


WEATHERBOARD VENT FLASHING

SCALE: 1:5



GARAGE DOOR REBATE SCALE: 1:5



POINT OF ENTRY SCALE: 1:5

# LOT 11; TYPE A1

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		ZONES		
WIND	EQ	DURABILITY	CLIMATE	
HIGH	1	D	1	
BUILDING CONSENT APPL.				

GMB DESIGN (2005) LTD.

PROPOSED DEVELOPMENT LOT 11, 31 DYKE ROAD, KARAKA, PAPAKURA A 200424 Appress upparen ceneral Office: 79 Twomey Drive Pukekohe - postal: P.O. Box 278, Pukekohe 2340

OFFICE: 79 Twomey Drive Pukekohe - postal: P.O. Box 278, Pukekohe 2340

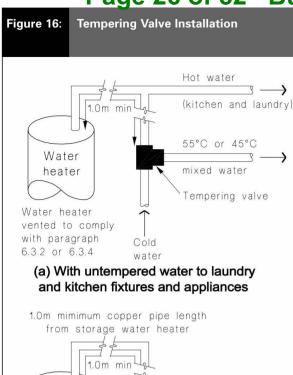
OFFICE: 79 Twomey Drive Pukekohe - postal: P.O. Box 278, Pukekohe 2340

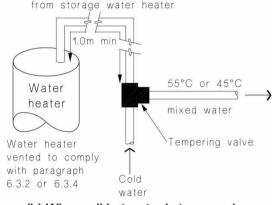
OFFICE: 79 Twomey Drive Pukekohe - postal: P.O. Box 278, Pukekohe 2340

OFFICE: 79 Twomey Drive Pukekohe - postal: P.O. Box 278, Pukekohe 2340

a. TITLE:			DWG. NO:	REV:
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IGNED: GMR	DATE: OCT '23	1		

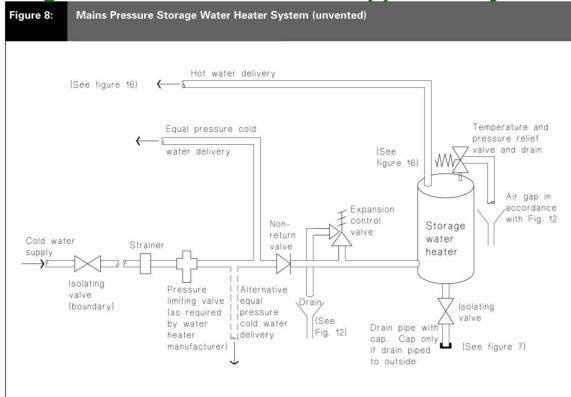
Page 26 of 52 Building Consent BCO10374007 Approved by Auckland Council

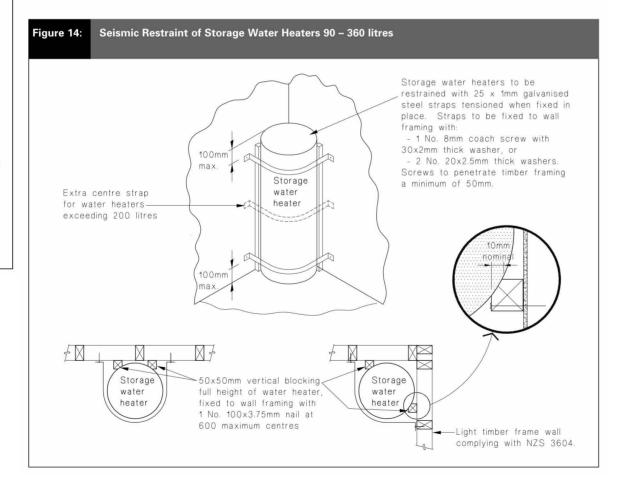




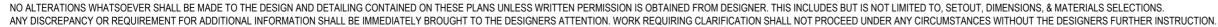
### (b) Where all hot water is tempered Note:

- For optimum system efficiency the tempering valve, for other than a mains pressure system, may be located as low as practicable to achieve the manufacturer's recommended head, at the tempering valve.
- 2. 1.0m minimum copper pipe length from storage water heater





# LOT 11; TYPE A1



ZONES				
WIND	EQ	DURABILITY	CLIMATE	
HIGH	1	D	1	
BUILDING CONSENT APPL.				

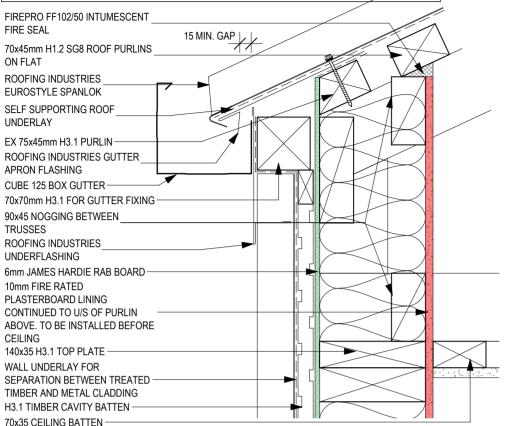
GMB DESIGN (2005) LTD.

PROPOSED DEVELOPMENT LOT 11, 31 DYKE ROAD, KARAKA, PAPAKURA A MONA 24 APPRESS UPDATED CENERAL OFFICE OF PURE NOT BECEIVED DIVERSE PURE NOT BECEIVED DIVERSE

TITLE:	HWC DFTAILS				REV:
	A602	Α			
<sup>N:</sup> NJW	CHECKED: GMB	SCALES: at A		JOB NO: 1455	
NED: GMB	DATE: OCT '23			1400	'

30/30/30 FRR WADD AVES HOUTE SPECIFIED 30-N. BEET HELD CONSENT BCO10374007 Approved by Auckland Council

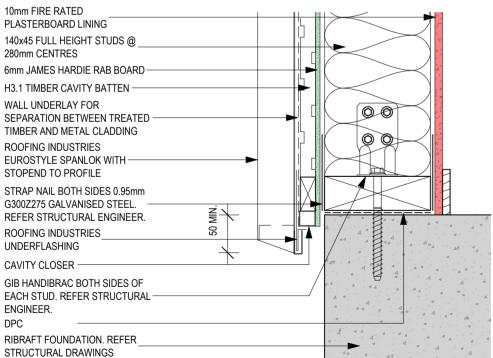
CONTINUOUS WITH ALL JOINTS FIRE STOPPED OR SEALED TO MANUFACTURER'S SPECIFICATION. TIMBER FRAMING & LININGS SHALL BE CAREFULLY CUT, SHAPED & INSTALLED AS NECESSARY TO ENSURE CONTINUOUS FIRE PROTECTION BARRIER



10mm FIRE RATED PLASTERBOARD LINING 140x45 FULL HEIGHT STUDS @ 280mm CENTRES 6mm JAMES HARDIE RAB BOARD H3.1 TIMBER CAVITY BATTEN WALL UNDERLAY FOR SEPARATION BETWEEN TREATED TIMBER AND METAL CLADDING ROOFING INDUSTRIES EUROSTYLE SPANLOK WITH -STOPEND TO PROFILE 240x45 STRINGER FIXED DIRECTLY TO EVERY SECOND FULL HEIGHT STUD WITH 150mm LONG M6 COACH SCREW

FRR EAVE TO JH SPEC JHETGR30-N

SCALE: 1:5



FRR FOUNDATION EDGE TO JH SPEC JHETGR30-N

SCALE: 1:5

# LOT 11; TYPE A1

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ZONES					
WIND	EQ	DURABILITY	CLIMATE		
HIGH	1	D	1		
BUILDING CONSENT APPL.					

GMB DESIGN (2005) LTD.

PROPOSED DEVELOPMENT LOT 11, 31 DYKE ROAD, KARAKA, PAPAKURA A MONA 24 APPRESS UPDATED GENERU Office: 79 Twomey Drive, Pukekohe - postal: P.O. Box 278, Pukekohe 2340

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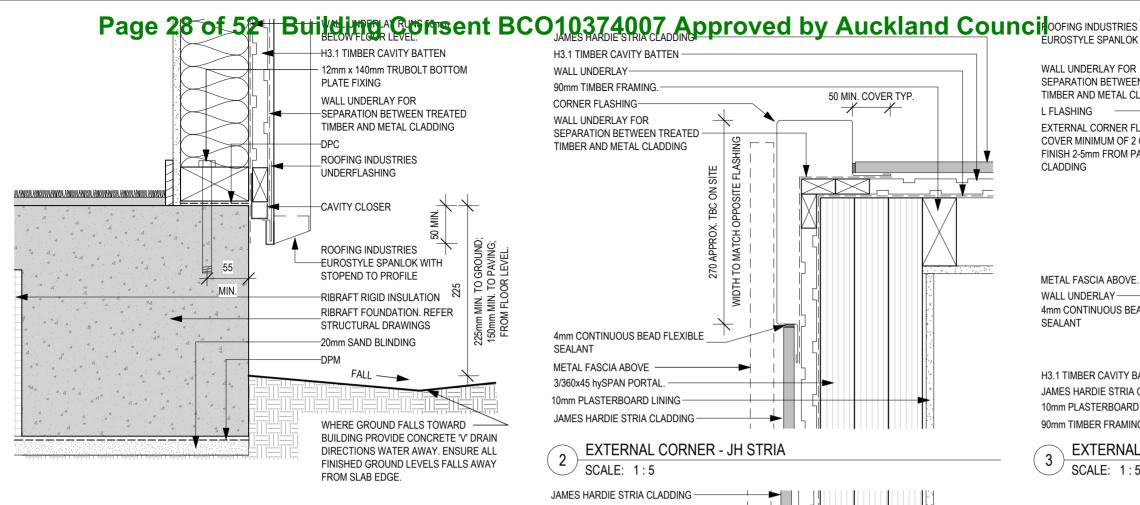
Office: 79 Twomey Drive, Pukekohe - postal: P.O. Box 278, Pukekohe 2340

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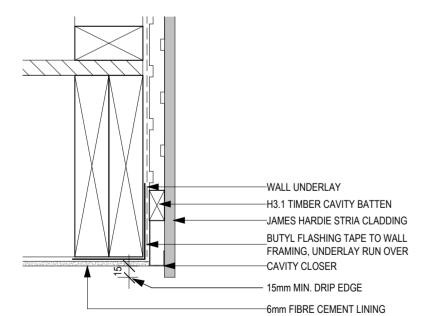
Office: 79 Twomey Drive, Pukekohe - postal: P.O. Box 278, Pukekohe 2340

VG. TITLE:			DWG. NO:	REV:
	FRR DETAIL	.S	A631	Α
RAWN: NJW	CHECKED: GMB	SCALES: 1:5 at A3	JOB NO: 145	5
SIGNED: GMR	DATE: OCT 123		143	J

 3/240x45 SG8 SOLID BLOCKING BETWEEN STUDS  JOISTS FIXED WITH JOIST HANGERS  30/30/30 FRR WALL TO JAMES HARDIE SPEC JHETGR30-N. REFER SHEET A801 ALL FRR LINING JOINT, JUNCTIONS & TRANSITIONS FROM WALL TO ROOF/FLOORS SHALL BE CONTINUOUS WITH ALL JOINTS FIRE STOPPED OR SEALED TO MANUFACTURER'S SPECIFICATION.						
FRR MIDFLOOR TO JH SCALE: 1:5	SPEC	JHE <sup>-</sup>	TGR30	)-N		



FOUNDATION EDGE - SPANLOK SCALE: 1:5



DRIP EDGE - JH STRIA SCALE: 1:5

LOT 11; TYPE A1

H3.1 TIMBER CAVITY BATTEN WALL UNDERLAY-90mm TIMBER FRAMING. 50 MIN. COVER TYP. CORNER FLASHING WALL UNDERLAY FOR SEPARATION BETWEEN TREATED OPPOSITE FLASHING TIMBER AND METAL CLADDING ON SITE TH TO MATCH MPT 4mm CONTINUOUS BEAD FLEXIBLE METAL FASCIA ABOVE 3/360x45 hySPAN PORTAL 10mm PLASTERBOARD LINING JAMES HARDIE STRIA CLADDING

**EXTERNAL CORNER - JH STRIA** SCALE: 1:5

JAMES HARDIE STRIA CLADDING **H3.1 TIMBER CAVITY BATTEN** WALL UNDERLAY 10mm PLASTERBOARD LINING 10mm FIRE RATED PLASTERBOARD LINING 3/360x45 hySPAN PORTAL. 50 MIN. 4mm CONTINUOUS BEAD FLEXIBLE **SEALANT** 75mm MIN. FLEXIBLE FLASHING TAPE CONTINUOUS AROUND APPROX. ON SITE CORNER 270 A TBC ( METAL FASCIA ABOVE. WALL UNDERLAY FOR SEPARATION BETWEEN TREATED TIMBER AND METAL CLADDING L FLASHING EXTERNAL CORNER FLASHING TO 200 APPROX. COVER MINIMUM OF 2 CREST AND TO MATCH BARGE FLASHING FINISH 2-5mm FROM PAN OF CLADDING 140mm TIMBER FRAMING 6mm JAMES HARDIE RAB BOARD **ROOFING INDUSTRIES EUROSTYLE SPANLOK** 

TO MATCH BARGE FLASHING WALL UNDERLAY FOR SEPARATION BETWEEN TREATED TIMBER AND METAL CLADDING L FLASHING EXTERNAL CORNER FLASHING TO COVER MINIMUM OF 2 CREST AND FINISH 2-5mm FROM PAN OF ROX. TO MATCH FLASHING BELOW CLADDING METAL FASCIA ABOVE. WALL UNDERLAY-4mm CONTINUOUS BEAD FLEXIBLE SEALANT H3.1 TIMBER CAVITY BATTEN JAMES HARDIE STRIA CLADDING 10mm PLASTERBOARD LINING 90mm TIMBER FRAMING

06/05/2024

EXTERNAL CORNER - JH STRIA TO SPANLOK SCALE: 1:5

> H3.1 TIMBER CAVITY BATTEN -JAMES HARDIE STRIA CLADDING JAMES HARDIE INTERNAL CORNER FLASHING VAPOUR PERMEABLE WALL UNDERLAY JAMES HARDIE AXON CLADDING

INTERNAL CORNER - JH AXON TO JH STRIA SCALE: 1:5

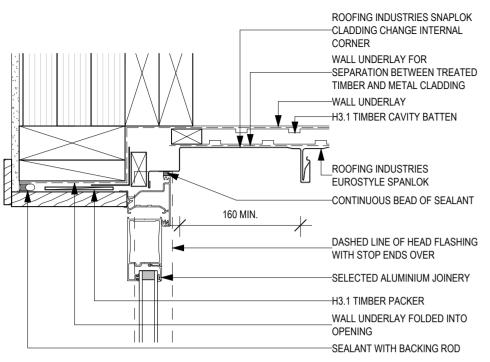
FRR WALL JUNCTION TO JHETGR30-N - SPANLOK TO STRIA

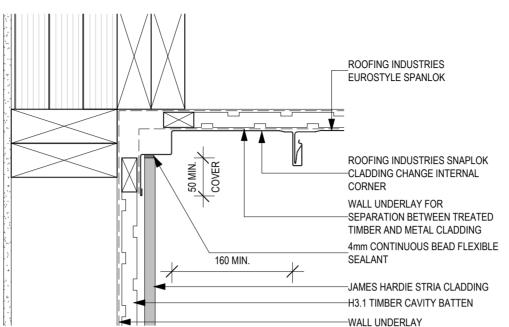
SCALE: 1:5

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	ZONES					PROPOSED DEVELOPMENT	DWG. TITLE:	HERTIGHTNESS	DETAIL C	DWG. NO: REV:
WII	ND EQ DURABILITY CLIMATE				GMB DESIGN (2005) LTD.	LOT 11, 31 DYKE ROAD, KARAKA, PAPAKURA	WLATI	iln Hulliness	DETAILS	A041 A
ПІС	DIUI DINC CONSENT ADDI		20.04.04	ADDRESS URDATED SEVERAL	ph (09) 239-1818 - e-mail: grant@gmb.co.nz Office:_79 Twomey Drive_Pukekohe - postal:_P.O. Box 278. Pukekohe 2340	FOR	DRAWN: NJW	CHECKED: GMB	SCALES: 1 : 5 at A3	JOB NO: 1/55
	BUILDING CONSENT APPL.	A NO	BA (	010374007 Recei	Office: 79 Womey Drive, Pukekone - postai: P.O. Box 276, Pukekone 2340	ncil 10/01/58 FOR DALENTIAL	DESIGNED: GMB	DATE: OCT '23		1400

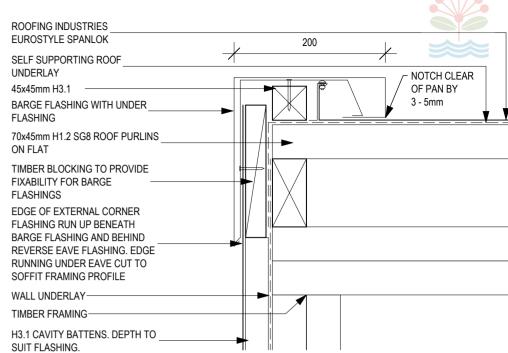
# Page 29 of 52 Building Consent BCO10374007 Approved by Auckland Council

# 06/05/2024

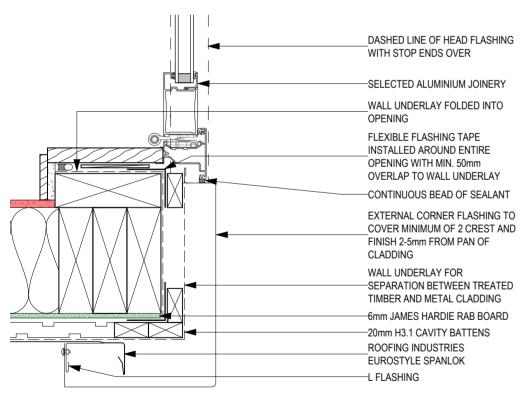


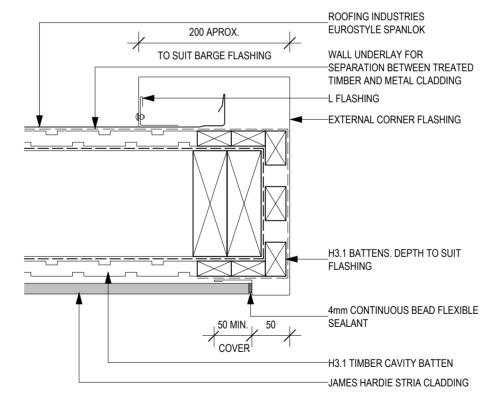






WINGWALL VERGE OVERHANG DETAIL - SPANLOK
SCALE: 1:5





DOOR JAMB CLADDING JUNCTION
SCALE: 1:5

WINGWALL END FLASHING DETAIL
SCALE: 1:5

# LOT 11; TYPE A1

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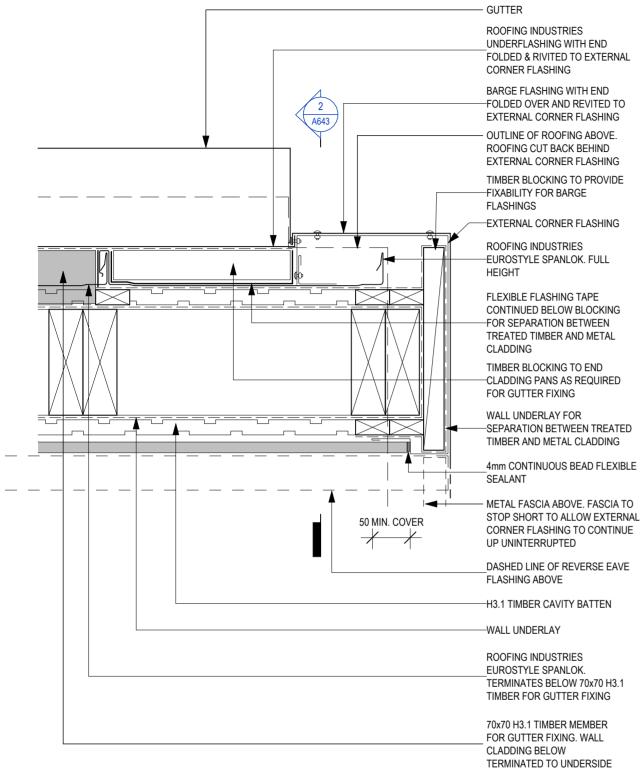
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ZONES WIND EQ DURABILITY CLIMATE		GMB DESIGN (2005) LTD.	PROPOSED DEVELOPMENT  LOT 11, 31 DYKE ROAD, KARAKA, PAPAKURA	DWG. TITLE: WEATHERTIGHTNESS DETAILS	A642 REV:
BUILDING CONSENT APPL.	A 030424 APPRESS UPDATED CENTERAL DISTRICT RECORD	ph (09) 239-1818 - e-mail: grant@gmb.co.nz Office: 79 Twomey Drive, Pukekohe - postal: P.O. Box 278, Pukekohe 2340	EOP	DRAWN: NJW CHECKED: GMB SCALES: 1:5 at A3  DESIGNED: GMB DATE: OCT '23	JOB NO: 1455

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-6mm FIBRE CEMENT LINING

# Page 30 of 52 Building Consent BCO10374007 Approved by Auckland Council





EDGE OF EXTERNAL CORNER FLASHING IN FOREGROUND RUN UP OUTSIDE OF FASCIA AND BENEATH BARGE FLASHING. EDGE RUNNING UNDER EAVE CUT TO FASCIA AND SOFFIT PROFILE A642 SELF SUPPORTING ROOF UNDFRI AY 70x45mm H1.2 SG8 ROOF PURLINS ON FLAT ROOFING INDUSTRIES EUROSTYLE SPANLOK ROOFING INDUSTRIES GUTTER APRON FLASHING WITH END -SECTION BENEATH BARGE FLASHING FOLDED OVER CLADDING CUBE 125 GUTTER FOLDED END OF UNDER FLASHING RIVETED TO EXTERNAL CORNER FLASHING BENEATH BARGE FLASHING TIMBER BLOCKING TO END -CLADDING PANS AS REQUIRED FOR GUTTER FIXING FLEXIBLE FLASHING TAPE CONTINUED BELOW BLOCKING FOR SEPARATION BETWEEN TREATED TIMBER AND METAL CLADDING BARGE FLASHING WITH END FOLDED OVER AND REVITED TO EXTERNAL CORNER FLASHING EDGE OF BARGE FLASHING IN FOREGROUND EXTERNAL CORNER FLASHING -H3.1 TIMBER CAVITY BATTEN -WALL UNDERLAY WALL UNDERLAY FOR -SEPARATION BETWEEN TREATED TIMBER AND METAL CLADDING

WINGWALL FLASHING TO BARGE FLASHING DETAIL

WINGWALL END FLASHING TO BARGE FLASHING DETAIL

SCALE: 1:5

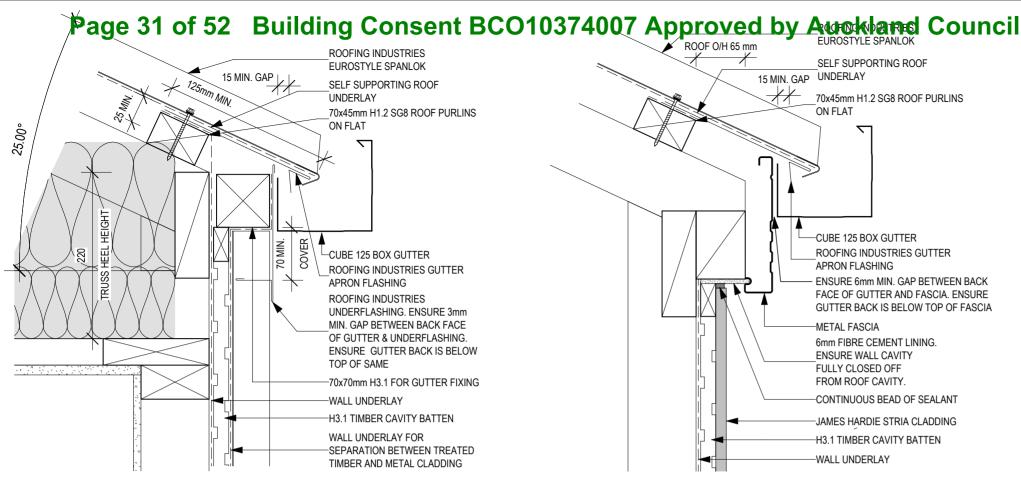
# LOT 11; TYPE A1

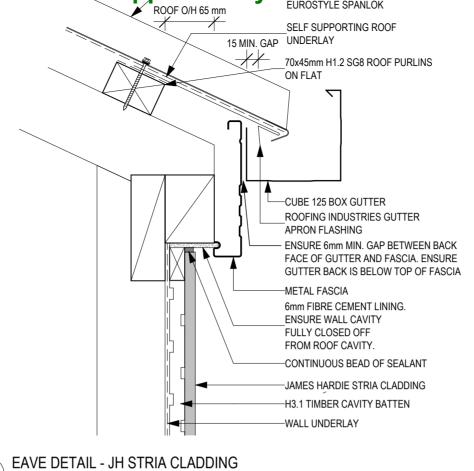
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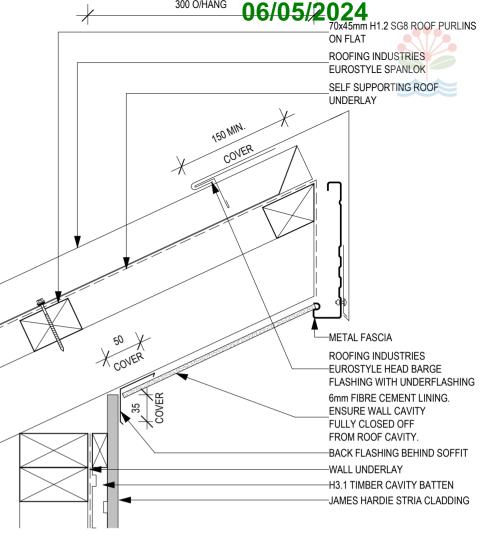
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ZONES WIND EQ DURABILITY CLIMATE		GMB DESIGN (2005) LTD.	PROPOSED DEVELOPMENT	DWG. TITLE: WEATHER	RTIGHTNESS DETAILS	A643 REV:
BUILDING CONSENT APPL.	A MADA APPRESS URDATED SENERAL NO BALL OF SALL	ph (09) 239-1818 - e-mail: grant@gmb.co.nz Office_79 Twomey Drive_Pukekohe - postai: P.O. Box 278, Pukekohe 2340	LOT 11, 31 DYKE ROAD, KARAKA, PAPAKURA FOR LOT 11, 31 DYKE ROAD, KARAKA, PAPAKURA	DRAWN: NJW CH DESIGNED: GMB DA	HECKED: GMB SCALES: 1:5 at A3	JOB NO: 1455

SCALE: 1:5







**EAVE DETAIL - SPANLOK CLADDING** SCALE: 1:5

SCALE: 1:5

100 ROOFING INDUSTRIES RIDGE FLASHING ROOFING INDUSTRIES EUROSTYLE SPANLOK STOPEND ROOFING INDUSTRIES UNDERFLASHING DOUBLE FIXED AT EVERY RIB DUE TO HIGH WINDZONE HEM TO BE CLEAR OF PAN 3 - 5mm SELF SUPPORTING ROOF UNDERLAY 70x45mm H1.2 SG8 ROOF PURLINS ON FLAT -ROOF FRAMING AIR GAP BETWEEN PURLINS

ROOFING INDUSTRIES **EUROSTYLE SPANLOK** 65 O/H SELF SUPPORTING ROOF UNDERLAY 200 - NOTCH CLEAR OF PAN BY 3 -45x45mm H3.1 5mm BARGE FLASHING WITH UNDER FLASHING 70x45mm H1.2 SG8 ROOF PURLINS ON FLAT METAL FASCIA 6mm FIBRE CEMENT LINING CONTINUOUS BEAD OF SEALANT JAMES HARDIE STRIA CLADDING H3.1 TIMBER CAVITY BATTEN WALL UNDERLAY-

TRANSVERSE VERGE & REVERSE EAVE DETAIL - JH STRIA CLADDING

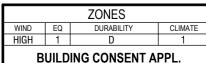
ROOFING INDUSTRIES **EUROSTYLE SPANLOK** SELF SUPPORTING ROOF UNDERI AY 200 NOTCH CLEAR OF PAN BY 45x45mm H3.1 BARGE FLASHING WITH UNDER **FLASHING** 70x45mm H1.2 SG8 ROOF PURLINS ON FLAT METAL FASCIA 6mm FIBRE CEMENT LINING

VERGE OVERHANG DETAIL - SPANLOK

SCALE: 1:5

RIDGE DETAIL - SPANLOK

LOT 11; TYPE A1 NO ALTERATIONS WHATSOEVER SHALL BE MADE TO THE DESIGN AND DETAILING CONTAINED ON THESE PLANS UNLESS WRITTEN PERMISSION IS OBTAINED FROM DESIGNER. THIS INCLUDES BUT IS NOT LIMITED TO, SETOUT, DIMENSIONS, & MATERIALS SELECTIONS.



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Office, 79 Two mey Drive, Purknon - postal: P.O. Box 278, Purknon - postal

WEATHERTIGHTNESS DETAILS A644 NJW ECKED: GMB 1:5 at A3 1455 GMB: GMB OCT '23

_	ANY DISCREPANCY OR REQUIREMENT FOR ADDITIONAL INFORMATION SHALL BE IMMEDIATELY BROUGHT TO THE DESIGNERS ATTENTION. WORK REQUIRING CLARIFICATION SHALL NOT PROCEED UNDER ANY CIRCUMSTANCES WITHOUT THE DESIGNERS FURTHER INSTRUCTION.									
			ZONES					PROPOSED DEVELOPMENT		
	WIND	EQ 1	DURABILITY	CLIMATE			GMB DESIGN (2005) LTD.	I OT 11 31 DVKF ROAD KARAKA PAPAKIIRA		

SCALE: 1:5

VERGE OVERHANG DETAIL - SPANLOK

# Page 32 of 52 Building Consent BCO10374007 Approved by Auckland Council

## 06/05/2024

- IMPORTANT:
- 1. ALL UNITS STATED HEIGHT x WIDTH
- 2. ALL UNITS VIEWED FROM OUTSIDE
- 3. ALL MEASUREMENTS TO OUTSIDE OF TIMBER JAMB LINERS 4. JOINERY SUPPLIER SHALL CONFIRM ALL MEASUREMENTS PRIOR TO FABRICATION.
- 5. ALL JAMB LINERS 20mm PRE-FORMED PINE FLUSH READY FOR ARCHITRAVE
- 6. NO TIMBER SILL LINERS TO DOORS
- 7. COLOUR MATCH HARDWARE TO POWDER COATING
- 8. R0.37 LOW E DOUBLE GLAZED ARGON FILLED WITH NON-THERMALLY BROKEN ALUMINIUM FRAME WITH 4/12/4 GAPS U.N.O.

### **GLAZING NOTES:**

ENSURE THAT GLAZING PROVIDED TO MINIMUM 10% OF HABITABLE ROOF FLOOR AREA & THAT NATURAL VENTILATION PROVIDED TO MINIMUM 5% OF HABITABLE ROOF FLOOR AREA

### **SAFETY GLAZING:**

JOINERY FABRICATOR SHALL CONFIRM COMPLIANCE WITH NZ4223:PART 3 2016, GENERALLY DESCRIBED AS FOLLOWS: DOORS - ANY PANEL >0.5m2

- WINDOWS ANY FULL HEIGHT PANEL
- ALL GLAZING WITHIN 2.0m OF FLOOR LEVEL IN BATHROOMS

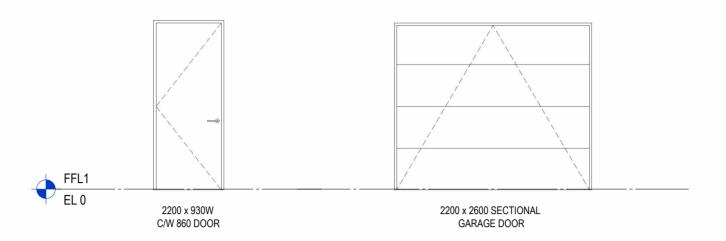
WHERE THE POSSIBLE HEIGHT OF FALL FROM AN OPEN WINDOW IS MORE THAN 1000mm (THE HEIGHT OF FALL SHALL BE MEASURED FROM THE INSIDE FLOOR LEVEL ADJACENT TO THE WINDOW):

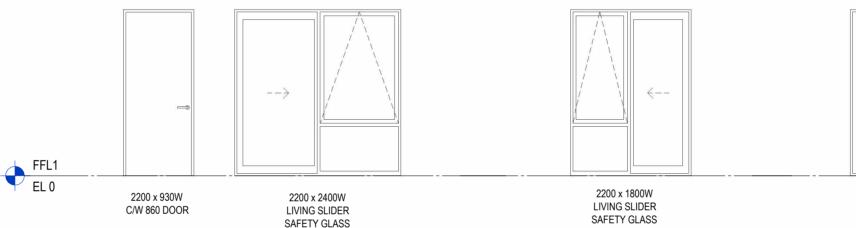
A WINDOW WITH AN OPENING WIDTH OF LESS THAN 1000mm SHALL HAVE EITHER:

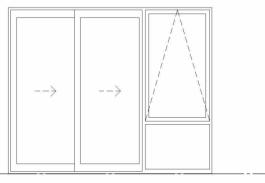
- a. THE LOWER EDGE OF THE OPENING AT LEAST 760mm ABOVE FLOOR LEVEL OR
- D. A RESTRICTOR FITTED TO LIMIT THE MAXIMUM OPENING SO THAT A 100mm DIAMETER SPHERE CANNOT PASS THROUGH
- c. A 760nn HIGH BARRIER PROTECTING THE OPENING OF SOLID CONSTRUCTION OR WITH VERTICAL MEMBERS TO ITS FULL HEIGHT.

A WINDOW WITH AN OPENING WIDTH OF MORE THAN 1000mm SHALL HAVE EITHER:

- a. THE LOWER EDGE OF THE OPENING AT A HEIGHT ABOVE FLOOR LEVEL AS GIVEN FOR BARRIERS IN F4/AS1 TABLE 1.
- b. A BARRIER OF THE SAME HEIGHT PROTECTING THE OPENING COMPLYING WITH F4/AS1 PARAGRAPH 1.2.1.







2200 x 2700W **DINING SLIDER** SAFETY GLASS

# LOT 11; TYPE A1

ZONES					
WIND	EQ	DURABILITY	CLIMATE		
HIGH	1	D	1		
BUILDING CONSENT APPL.					





GROUND LE	EVEL DOOR & W	INDOW SCHED.	DWG. NO: A701	REV:
DRAWN: NJW	CHECKED: GMB	SCALES: As indicated at A3	JOB NO: 145	5
DESIGNED: GMB	DATE: OCT '23		143	J

- 1. ALL UNITS STATED HEIGHT x WIDTH
- 2. ALL UNITS VIEWED FROM OUTSIDE
- 3. ALL MEASUREMENTS TO OUTSIDE OF TIMBER JAMB LINERS
- 4. JOINERY SUPPLIER SHALL CONFIRM ALL MEASUREMENTS PRIOR TO FABRICATION.
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- 6. NO TIMBER SILL LINERS TO DOORS
- 7. COLOUR MATCH HARDWARE TO POWDER COATING
- 8. R0.37 LOW E DOUBLE GLAZED ARGON FILLED WITH NON-THERMALLY BROKEN ALUMINIUM FRAME WITH 4/12/4 GAPS

### **GLAZING NOTES:**

**IMPORTANT:** 

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- DOORS ANY PANEL >0.5m2
- WINDOWS ANY FULL HEIGHT PANEL
- ALL GLAZING WITHIN 2.0m OF FLOOR LEVEL IN BATHROOMS

### **OPENING WINDOWS:**

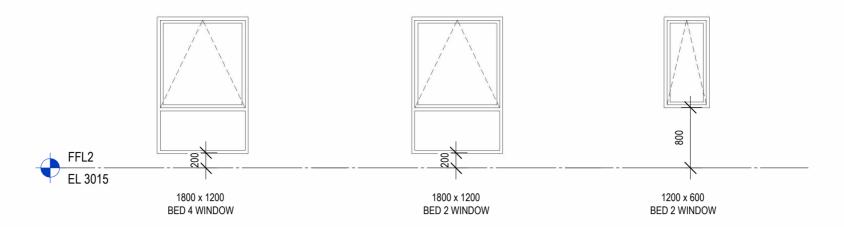
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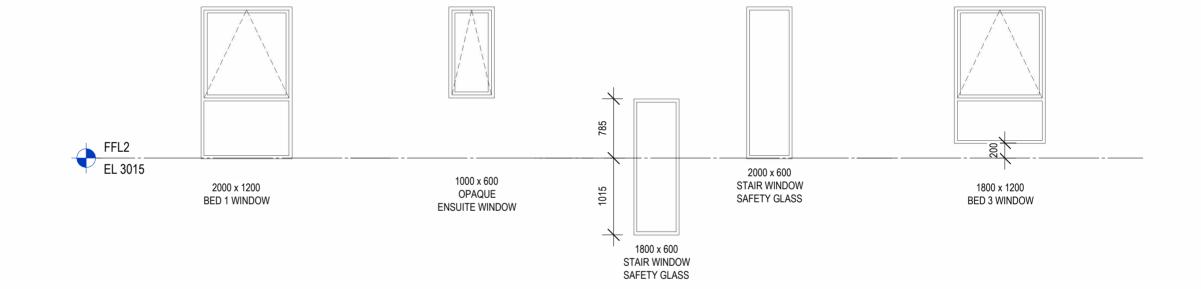
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- a. THE LOWER EDGE OF THE OPENING AT LEAST 760mm ABOVE FLOOR LEVEL OR
- b. A RESTRICTOR FITTED TO LIMIT THE MAXIMUM OPENING SO THAT A 100mm DIAMETER SPHERE CANNOT PASS THROUGH
- c. A 760nn HIGH BARRIER PROTECTING THE OPENING OF SOLID CONSTRUCTION OR WITH VERTICAL MEMBERS TO ITS FULL

A WINDOW WITH AN OPENING WIDTH OF MORE THAN 1000mm SHALL HAVE EITHER:

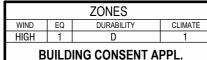
- a. THE LOWER EDGE OF THE OPENING AT A HEIGHT ABOVE FLOOR LEVEL AS GIVEN FOR BARRIERS IN F4/AS1 TABLE 1,
- D. A BARRIER OF THE SAME HEIGHT PROTECTING THE OPENING COMPLYING WITH F4/AS1 PARAGRAPH 1.2.1.





# LOT 11; TYPE A1

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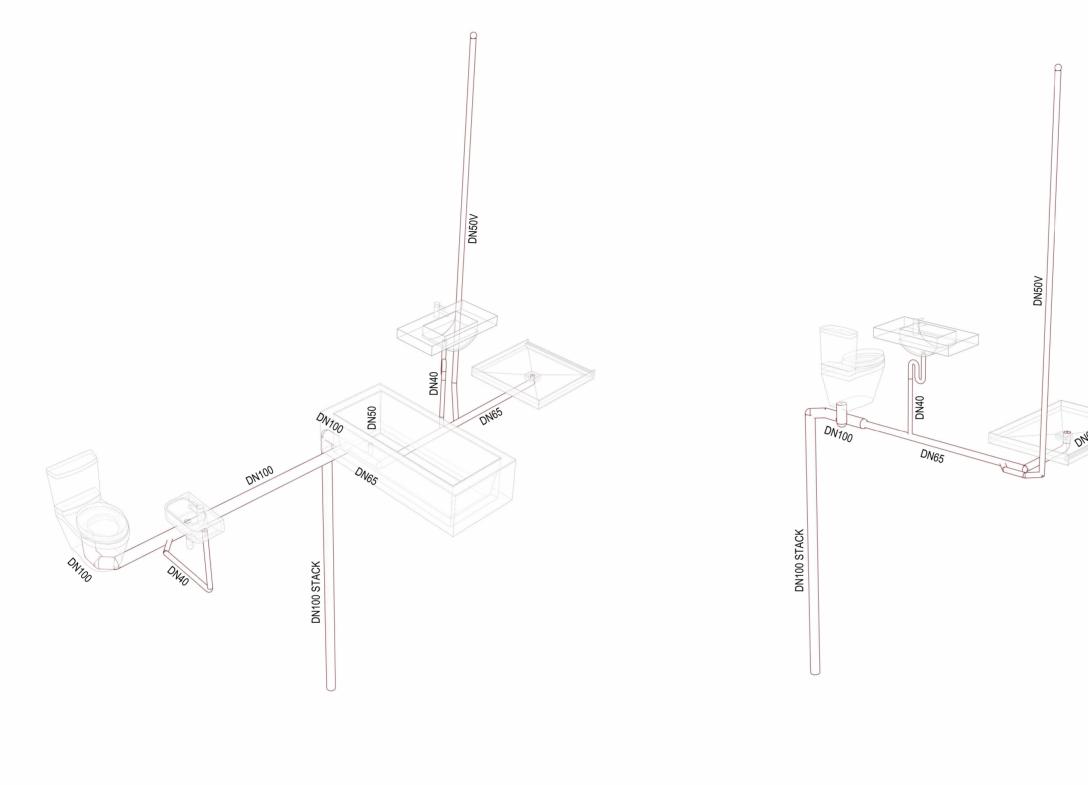
PROPOSED DEVELOPMENT LOT 11, 31 DYKE ROAD, KARAKA, PAPAKURA

DWG. TITLE: FIRST LEVE	L DOOR & WINI	OOW SCHEDULE	DWG. NO:	REV:
DRAWN: NJW	CHECKED: GMB	SCALES: As indicated at A3	JOB NO: 145	5
DESIGNED: GMB	DATE: OCT '23		143	J









BATHROOM PLUMBING SCHEMATIC

SCALE: 1:1

ENSUITE PLUMBING SCHEMATIC SCALE: 1:1

# LOT 11; TYPE A1

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		ZONES	
WINE	EQ	DURABILITY	CLIMATE
HIGH	1	D	1
	BUILD	DING CONSENT A	PPL.

GMB DESIGN (2005) LTD.

PROPOSED DEVELOPMENT LOT 11, 31 DYKE ROAD, KARAKA, PAPAKURA ph (09) 239-1818 - e-mail: grant@gmb.co.nz

Office: 79 Twomey Drive\_Pukekohe - postal: P.O. Box 278, Pukekohe 2340

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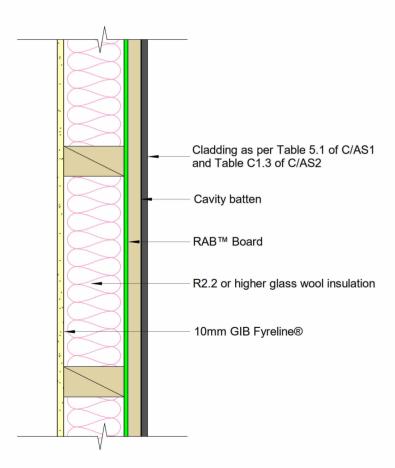
G. TITLE:			DWG. NO:	REV:
FIRST LE	A721	Α		
wn: NJW	CHECKED: GMB	SCALES: 1:1 at A3	JOB NO: 145	5
IGNED: CMB	DATE: OCT 123		143	J

JHETGRES-N Fire Resistance	Building Consent	<del>BCO10374</del> 007	Approved by	<b>Auckland Co</b>	uncil
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Cladding	Cladding system as per Table 5.1 of C/AS1 and Table C1.3 of C/AS2	Lining 10mm GIB Fyreline®			
Framing	Timber framing to be in accordance with NZS 3604 or SED complying with AS/NZS 1170 and NZS 3603. Framing size 90 x 45mm minimum. Studs at 600mm centres and nogs at 800mm centres maximum	Insulation	Glass wool insulation 90mm thick, R2.2 or higher.		
Cavity Batten	As per cladding manufacturer technical specification	Underlay	RAB™ Board		
Cladding Fixing As per cladding manufacturer technical specification		Lining Fixing	Fix GIB Fyreline® with 41mm x 6g GIB® Grabber® High Thread Drywall Screws 300mm centre around the sheet perimeter and intermediate studs Fixing to be 12mm from bound sheet edges and 18mm from sheet ends		
RAB <sup>™</sup> Board Fixing	RAB™ Board 6mm: 40 x 2.8mm fibre cement nail at 150mm centres to entire framing RAB™ Board 9mm: 50 x 2.8mm fibre cement nail at 150mm centres to entire framing Fixing to be 12mm from sheet edges				

No cladding required for wall applications enclosed within the roof space For further information refer to HomeRAB™ Pre-Cladding and RAB™ Board installation manual



# LOT 11; TYPE A1

Fire & Acoustic Design Manual | November 2022 New Zealand 33

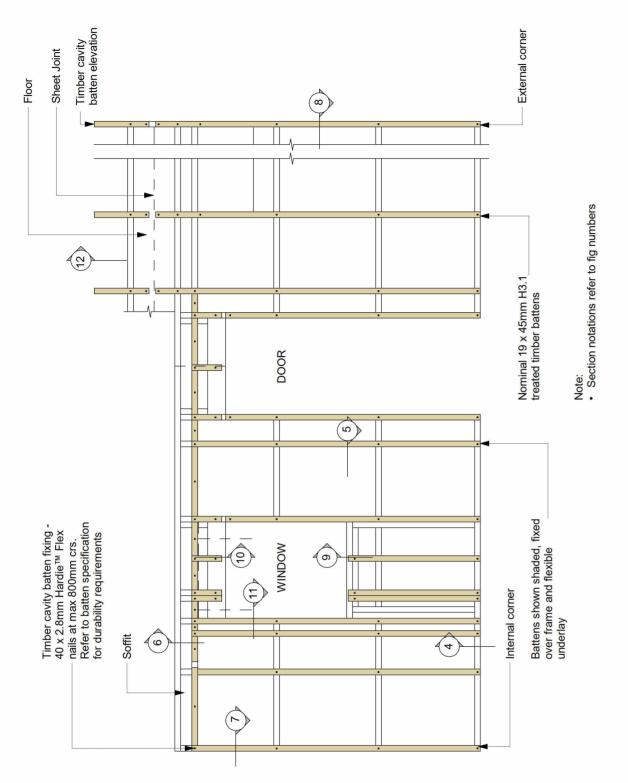
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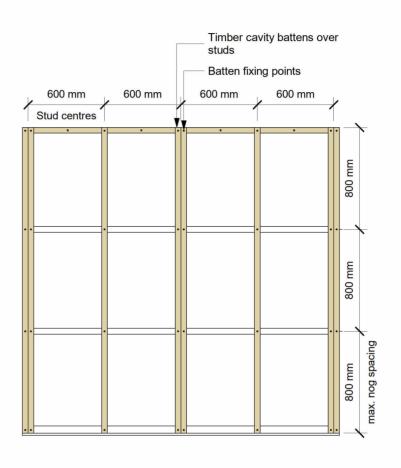
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HIGH   1   D   1			ph (09) 239-1818 - e-mail: grant@gmb.co.nz	LOT 11, 31 DYKE ROAD, KARAKA, PAPAKURA	DRAWN: NJW	CHECKED: GMB	SCALES: 1:1 at A3	JOB NO:	
BUILDING CONSENT APPL.	A 03.04.24	APDRESS UPDATED CENERAL PROPERTY PROPER	Office: 79 Twomey Drive, Pukekohe - postal: P.O. Box 278, Pukekohe 2340	CIL 10/MUESSEREDWENTIAL	DESIGNED: GMB	DATE: OCT '23	1	1455	

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### Note:

· Check Figure 5 for framing and batten requirements for vertical joint





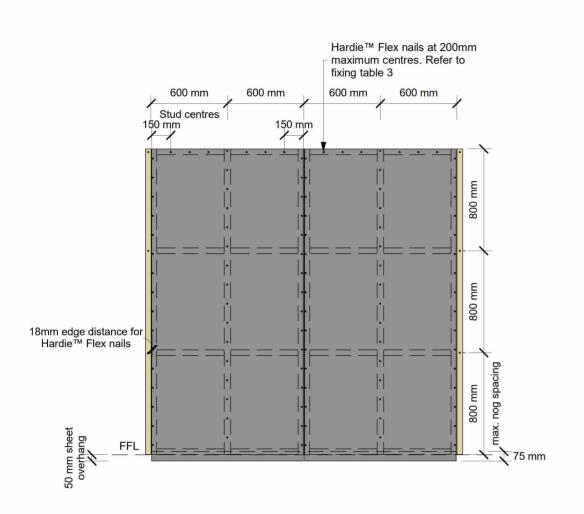
# LOT 11; TYPE A1

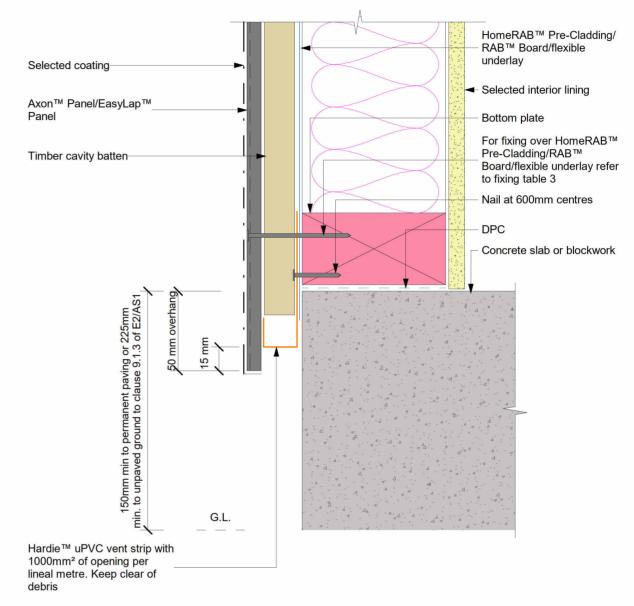
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HIGH 1 D 1  BUILDING CONSENT APPL.	A 00.04.24 APDRESS UPDATED CENERAL NO RECEIVED	ph (09) 239-1818 - e-mail: grant@gmb.co.nz Office: 79 Twomey Drive, Pukekohe - postal: P.O. Box 278, Pukekohe 2340	LOT 11, 31 DYKE ROAD, KARAKA, PAPAKURA	DRAWN: NJW DESIGNED: GMB	CHECKED: GMB SCALES: 1:1 at A3	JOB NO: 1455



# Page 37 of 52 Building Consent BCO10374007 Approved by Auckland Council







Note: Refer to Section 2.4 for further information





## LOT 11; TYPE A1

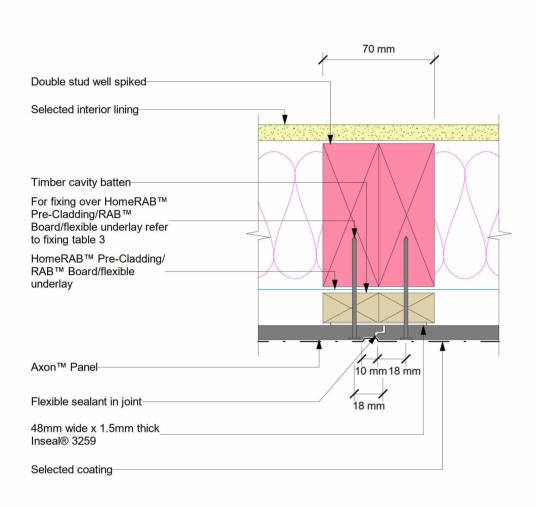
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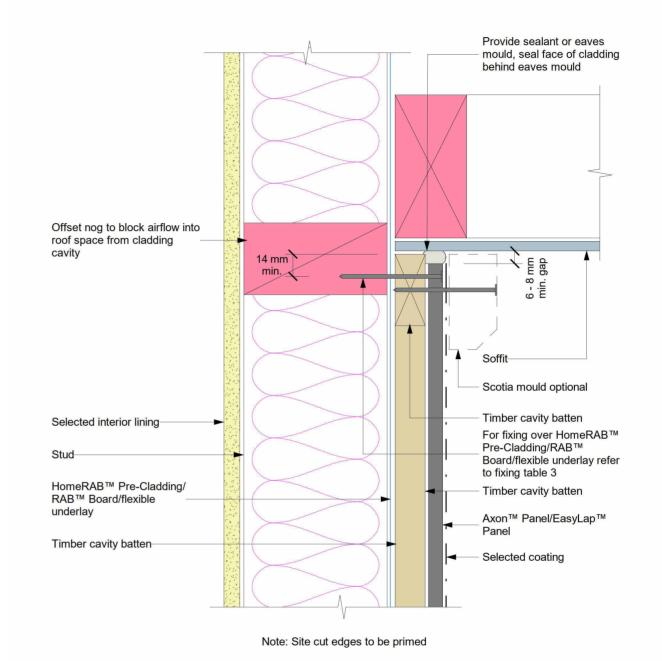
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HIGH   1   D   1			ph (09) 239-1818 - e-mail: grant@gmb.co.nz	LOT 11, 31 DYKE ROAD, KARAKA, PAPAKURA	DRAWN: N.JW	CHECKED: GMB SCALES:	JOB NO:
BUILDING CONSENT APPL.	A 03.04.24	APPRESS UPDATED CENERAL COT POSCO	Office: 79 Twomey Drive, Pukekohe - postal: P.O. Box 278, Pukekohe 2340	10/MINESSE/REDWENTIAL	DESIGNED: GMB	DATE: OCT '23	1455











Axon™ Panel/EasyLap™ Panel On Timber Cavity Batten with Flexible Underlay

jhl\_axon\_ktaltd.rvt jhl\_axon\_u\_010 December 2021 James Hardie<sup>\*</sup>

Axon™ Panel/EasyLap™ Panel On Timber Cavity Batten with Flexible Underlay SOFFIT DETAIL

jhl\_axon\_ktaltd.rvt December 2021

Figure 10

### LOT 11; TYPE A1

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Figure 6

		ZONES				
WIND	EQ	DURABILITY	CLIMATE			
HIGH	1	D	1			
BUILDING CONSENT APPL.						

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OFFICE: 79 Twomey Drive Pukekohe - postal: P.O. Box 278, Pukekohe 2340

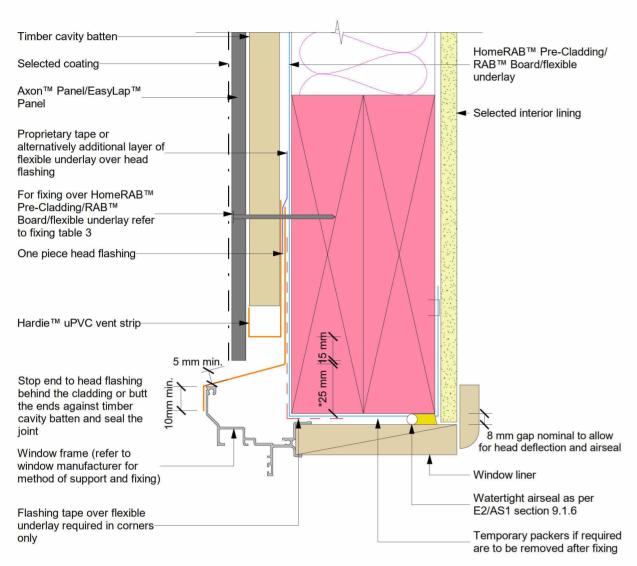
OFFICE: 79 Twomey Drive Pukekohe - postal: P.O. Box 278, Pukekohe 2340

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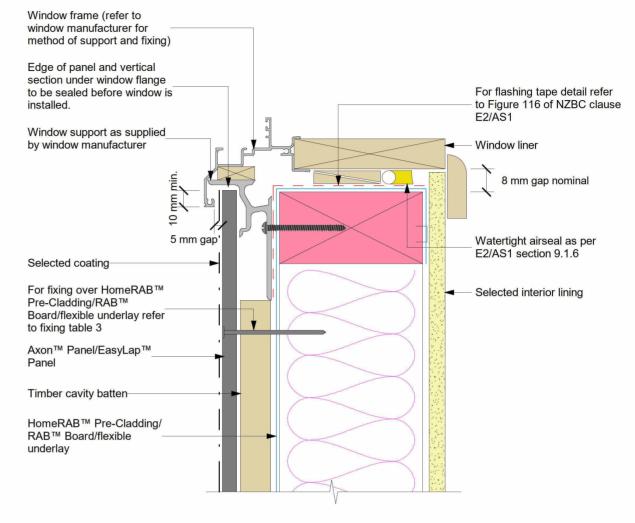
LE:	JH AXON DETAILS  CHECKED: GMB  SCALES: 1:1 at A3		DWG. NO:	REV:
NJW	CHECKED: GMB		JOB NO: 145	5
): GMR	DATE: OCT 123		143	ວ





#### Note:

- When HomeRAB™ Pre-Cladding/ RAB™ Board is used flashing tape to be applied to the entire window opening
- · Sealant must be installed between head flashing and window flange in VH and EH wind zones and SED projects
- Alternatively, the head flashing can be formed with stop ends as per E2/AS1



General notes for materials selection

- \* Flexible underlay must comply with acceptable solution E2/AS.
- \* Flashing tape must have proven compatibility with the selected flexible underlay and other materials with which it comes into contact.
- \* When HomeRAB™ Pre-Cladding/ RAB™ Board are used flashing tape to be applied to the entire opening.

Refer to the manufacturer or supplier for technical information for these materials



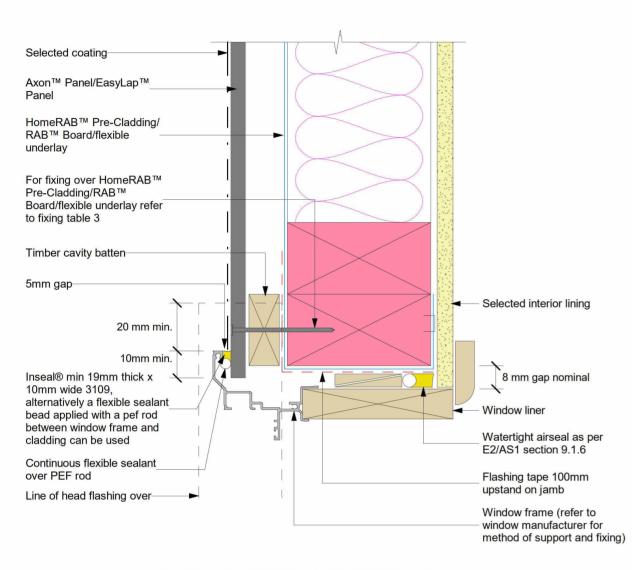


## LOT 11; TYPE A1

ZONES WIND EQ DURABILITY CLIMATE	GMB DESIGN (2005) LTD.	PROPOSED DEVELOPMENT	DWG. TITLE:	JH AXON DETAI	LS	DWG. NO: REV:
BUILDING CONSENT APPL.	ph (09) 239-1818 - e-mail: grant@gmb.co.nz  A 02.04.24 APDRESS URDATED CENERAL  NO BAE  ADDRESS URDATED CENERAL  Office: 79 Twomey Drive Pukekohe - postal: P.O. Box 278, Pukekohe 2340	LOT 11, 31 DYKE ROAD, KARAKA, PAPAKURA FOR	DRAWN: NJW DESIGNED: GMB	CHECKED: GMB DATE: OCT '23	SCALES: 1:1 at A3	ЈОВ NO: 1455

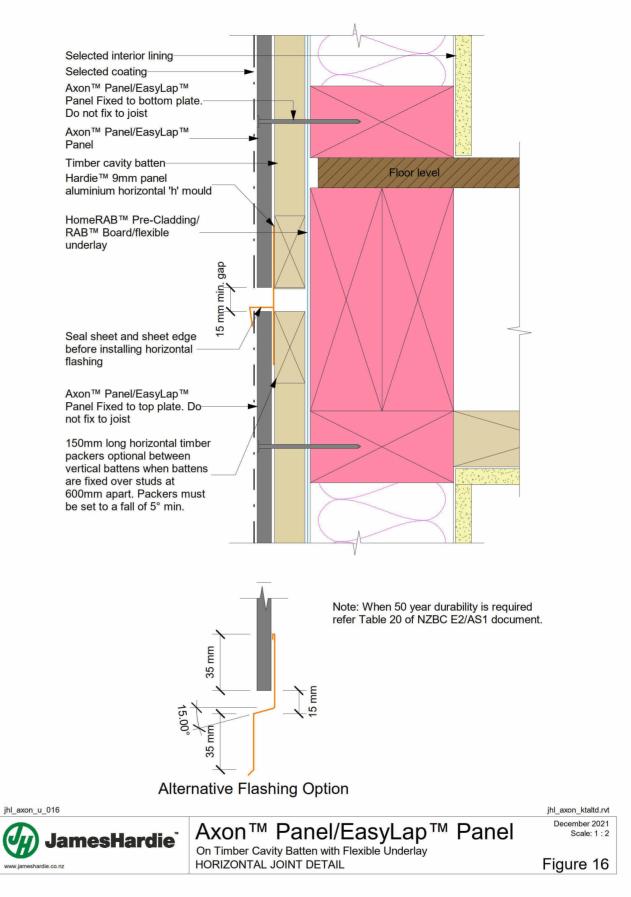


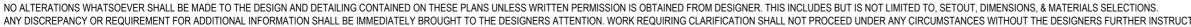




Note: When HomeRAB  $^{\text{TM}}$  Pre-Cladding/ RAB  $^{\text{TM}}$  Board is used flashing tape or flexible underlay to be applied to the entire window opening.



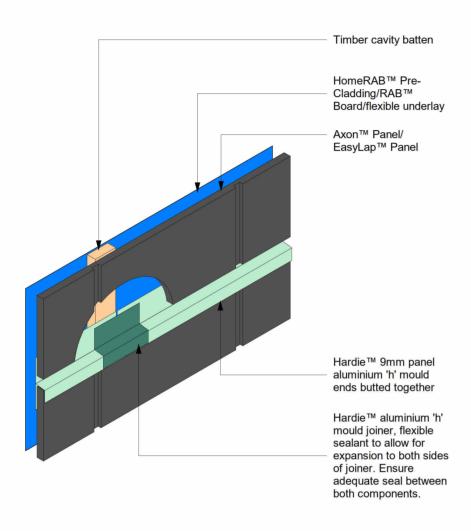




ANY DISCREPANCY OR REQUIREMENT FOR ADD	ITIONAL INFORMATION SHALL BE IMMEDIATELY BROUGHT TO THE DESIGNERS ATTENTION. WORK REQUI	RING CLARIFICATION SHALL NOT PROCEED UNDER ANY CIF	RCUMSTANCES WITHOUT THE DESIGNERS FURTHER INSTRUCTION.			
ZONES WIND EQ DURABILITY CLIMATE		GMB DESIGN (2005) LTD.	PROPOSED DEVELOPMENT	DWG. TITLE:	JH AXON DETAILS	A815 REV:
BUILDING CONSENT APPL.	A MODAL APPRESS UPDATED CENTRAL NO BALL OF A PROPERTY OF A	ph (09) 239-1818 - e-mail: grant@gmb.co.nz Office: 79 Twomey Drive, Pukekohe - postal: .P.O. Box 278, Pukekohe 2340	LOT 11, 31 DYKE ROAD, KARAKA, PAPAKURA	DRAWN: NJW DESIGNED: GMB	CHECKED: GMB  DATE: OCT '23  SCALES: 1:1 at A3	ЈОВ NO: 1455





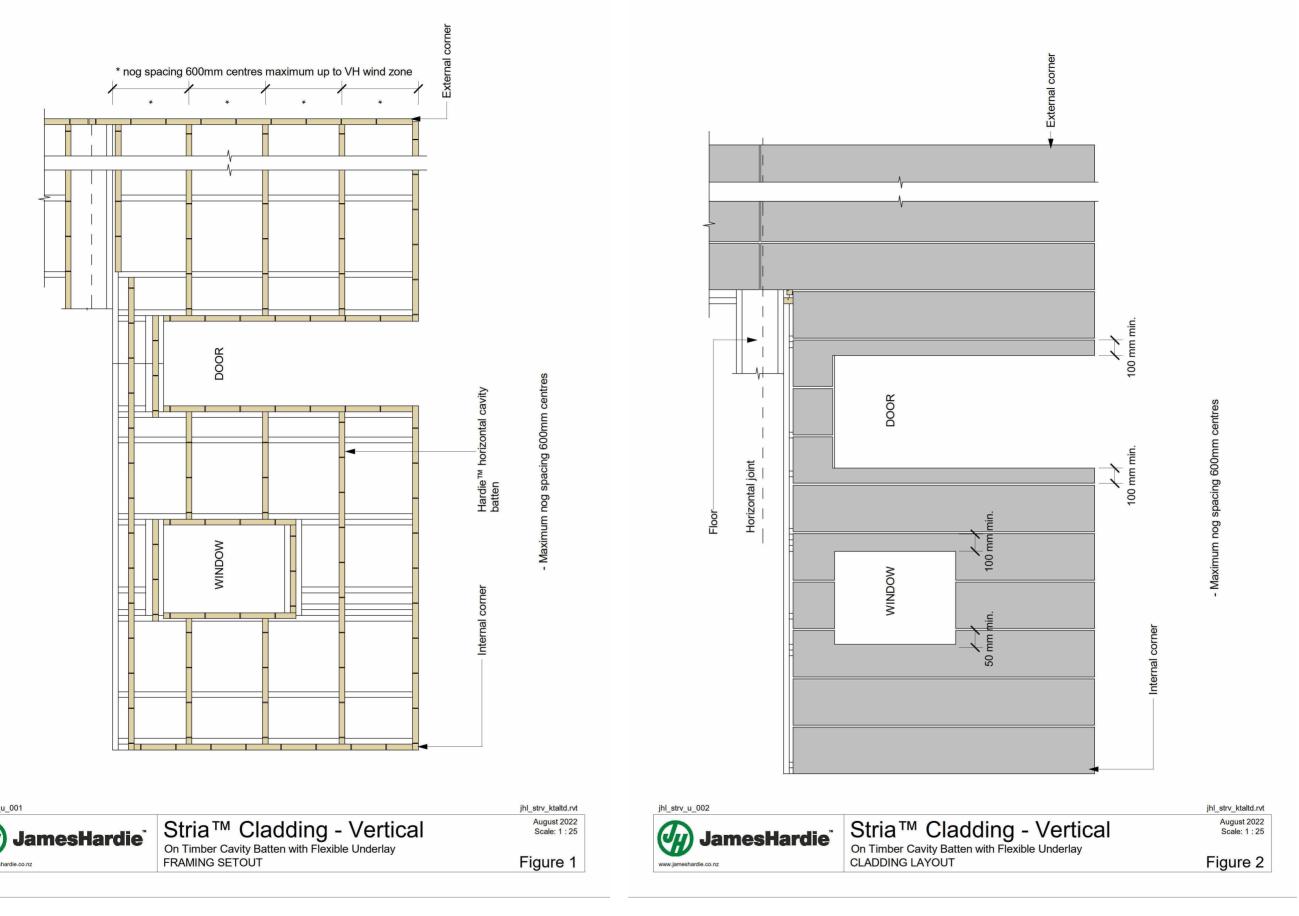




Г	ZONES			PROJECT:	PROPOSED DEVELOPMENT	DWG. TITLE:	JH AXON DETAILS	DWG. NO: REV:
_	WIND         EQ         DURABILITY         CLIMATE           HIGH         1         D         1		GMB DESIGN (2005) LTD.		LOT 11, 31 DYKE ROAD, KARAKA, PAPAKURA	DRAWN: N. IVA/	CHECKED: CMP SCALES:	JOB NO:
	BUILDING CONSENT APPL.	A 02.04.24 NO A	ph (09) 239-1818 - e-mail: grant@gmb.co.nz  APDRESS URDATED_CENERAL  Office: 79 Twomey Drive, Pukekohe - postal: P.O. Box 278, Pukekohe 23		10/MDESSEREDULENTIAL	DESIGNED: GMB	DATE: OCT '23	1455





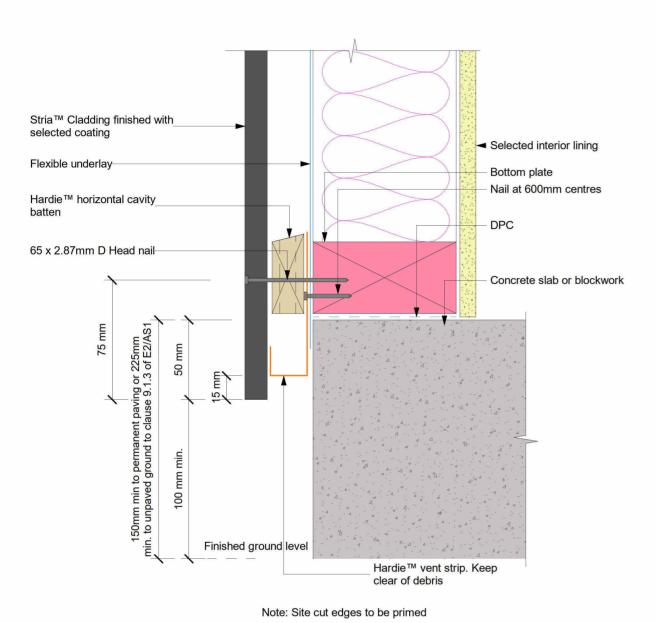


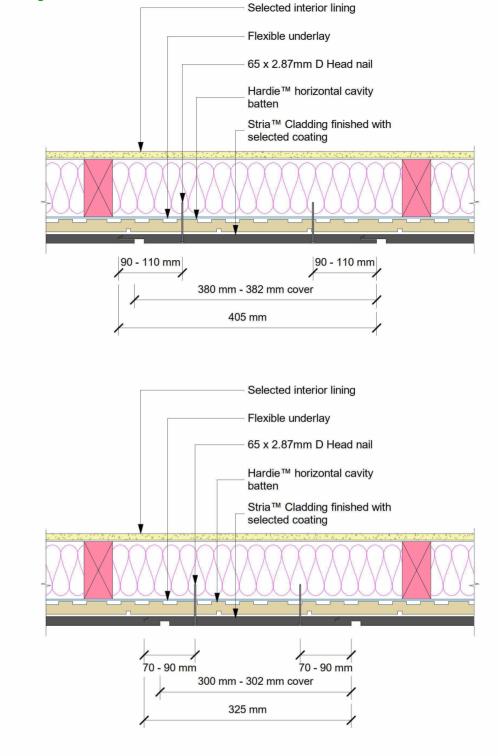
ANY DISCREPANCY OR REQUIREMENT FOR ADD	HONAL INFORMATION SHALL BE IMMEDIATELY BROUGHT TO THE DESIGNERS ATTENTION. WORK REQUIRING CLARIFICATION SHALL NOT PROCEED UNDER ANY CIRC	CUMSTANCES WITHOUT THE DESIGNERS FURTHER INSTRUCTION.				
ZONES		PROPOSED DEVELOPMENT	DWG. TITLE:	JH STRIA DETAIL	1.0	DWG. NO: REV
WIND EQ DURABILITY CLIMATE	GMB DESIGN (2005) LTD.	LOT 11, 31 DYKE ROAD, KARAKA, PAPAKURA	'	JII STAIA DETAIL	LO	HOZI F
HIGH   1   D   1	ph (09) 239-1818 - e-mail: grant@gmb.co.nz	LUT 11, 31 DINE RUAD, NAKANA, PAPANUKA	DRAWN: NJW	CHECKED: GMB	SCALES: 1:1 at A3	JOB NO:
BUILDING CONSENT APPL.	A 100 04 24 APDRESS UPDATED CENERAL Office: 79 Twomey Drive, Pukekohe - postal: P.O. Box 278, Pukekohe 2340	CIL 10/MUESSERESIZENTIAL	DESIGNED: GMB	DATE: OCT '23	1	1455

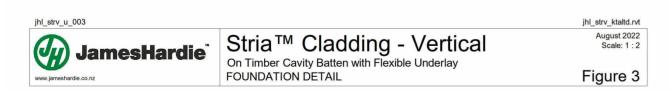


# Page 43 of 52 Building Consent BCO10374007 Approved by Auckland Council











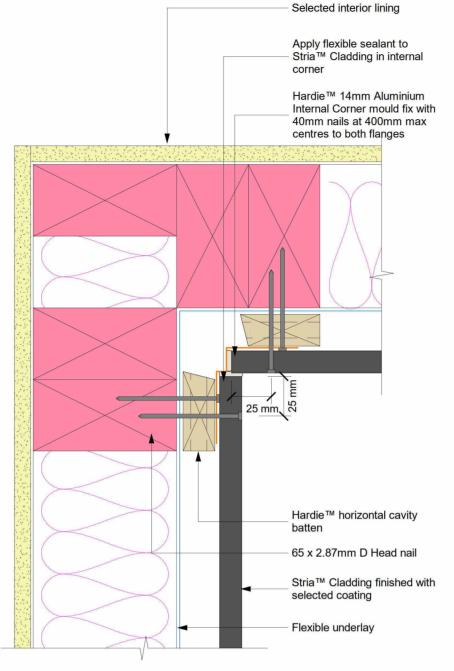
## LOT 11; TYPE A1



ZONES WIND EQ DURABILITY CLIMATE	GMB DESIGN (2005) LTD.	PROPOSED DEVELOPMENT  LOT 11, 31 DYKE ROAD, KARAKA, PAPAKURA	DWG. TITLE:	JH STRIA DETAIL	LS	DWG. NO: RE'	/: A
BUILDING CONSENT APPL.	ph (09) 239-1818 - e-mail: grant@gmb.co.nz  A 020434 ADDRESS UDDATED CENERAL  NO BAE  NO BAE  Office 79 Twomey Drive Pukekohe - postal P.O. Box 278, Pukekohe 2340	LOT 11, ST DIKE HOAD, KANAKA, PAPAKONA  FOR  LD CIL 10/(1)/ESSE(ES)//LENTIAL	DRAWN: NJW DESIGNED: GMB	CHECKED: GMB  DATE: OCT '23	SCALES: 1:1 at A3	JOB NO: 1455	

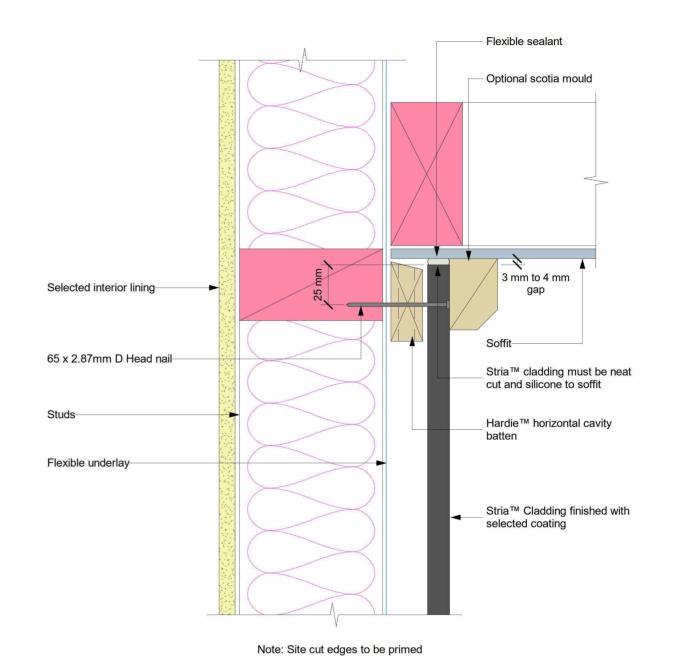
# Page 44 of 52 Building Consent BCO10374007 Approved by Auckland Council





Note: Site cut edges to be primed





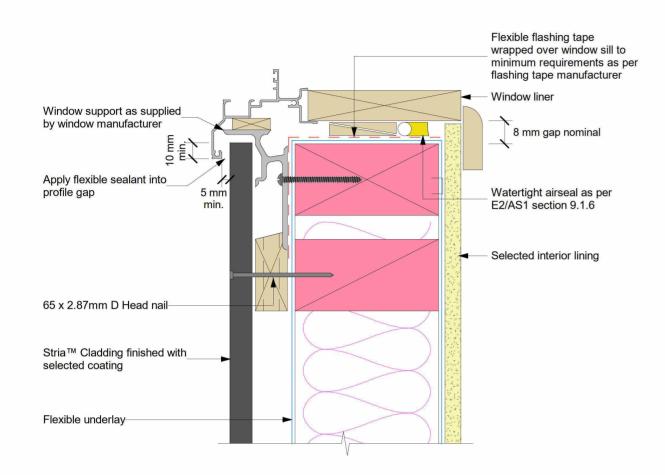


## LOT 11; TYPE A1

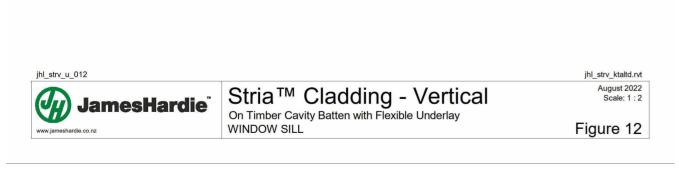
_	ANY DISCREPANCY OR REQUIREMENT FOR ADDIT	TIONAL INFORMATION SHALL BE IMMEDIATELY BROUGH	HT TO THE DESIGNERS ATTENTION. WORK REQUI	RING CLARIFICATION SHALL NOT PROCEED UNDER ANY CIF	RCUMSTANCES WITHOUT THE DESIGNERS FURTHER INSTRUCTION.				
I	ZONES WIND EQ DURABILITY CLIMATE			GMB DESIGN (2005) LTD.	PROPOSED DEVELOPMENT  LOT 11, 31 DYKE ROAD, KARAKA, PAPAKURA	DWG. TITLE:	JH STRIA DETAIL	LS	A823 REV:
Ì	BUILDING CONSENT APPL.	A 0404 NO BAE	APPRESS UPDATED CENERAL OF ROCCIO	ph (09) 239-1818 - e-mail: grant@gmb.co.nz Office: 79 Twomey Drive, Pukekohe - postal: P.O. Box 278, Pukekohe 2340	CIL 10/MINESSER 53/LENTIAL	DRAWN: NJW DESIGNED: GMB	CHECKED: GMB  DATE: OCT '23	SCALES: 1:1 at A3	јов no: 1455

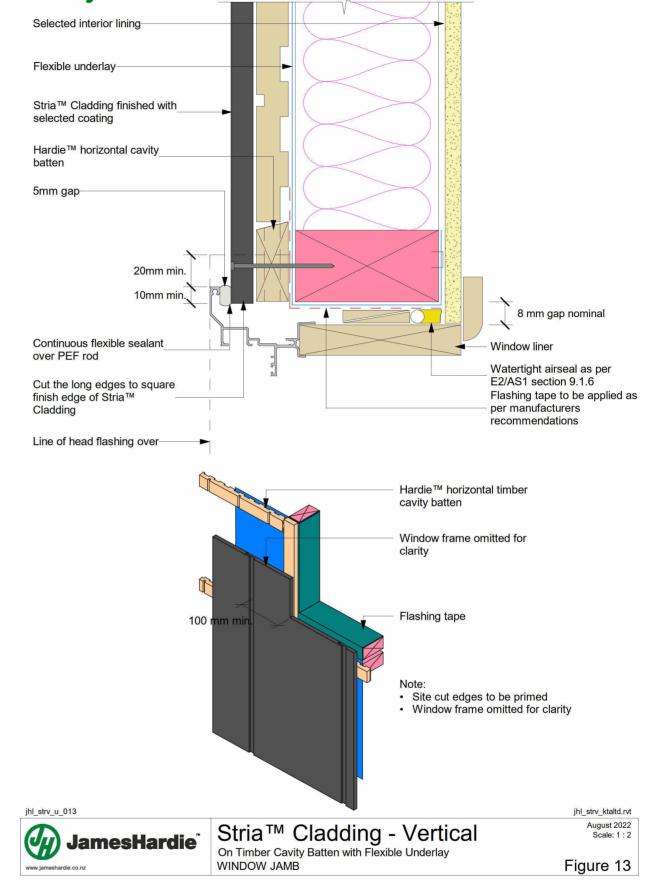


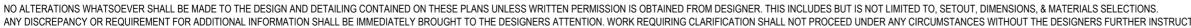




Note: Site cut edges to be primed



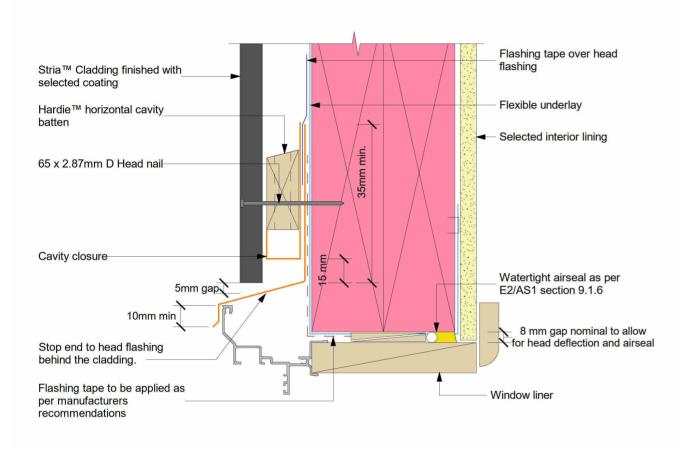




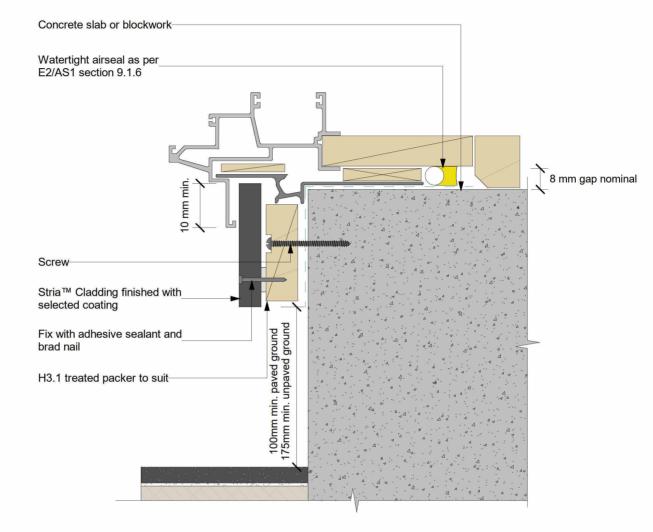
ANY DISCREPANCY OR REQUIREMENT FOR ADD	ITIONAL INFORMATION SHALL BE IMMEDIATELY BROUGHT TO THE DESIGNERS ATTENTION. WORK REQUII	RING CLARIFICATION SHALL NOT PROCEED UNDER ANY CII	RCUMSTANCES WITHOUT THE DESIGNERS FURTHER INSTRUCTION.			
ZONES WIND EQ DURABILITY CLIMATE		GMB DESIGN (2005) LTD.	PROPOSED DEVELOPMENT  LOT 11, 31 DYKE ROAD, KARAKA, PAPAKURA	DWG. TITLE:	JH STRIA DETAILS	A824 A
BUILDING CONSENT APPL.	A 020424 ADDRESS UDDATED CENERAL NO BALL OF THE PROPERTY OF TH	ph (09) 239-1818 - e-mail: grant@gmb.co.nz Office: 79 Twomey Drive, Pukekohe - postal: P.O. Box 278, Pukekohe 2340	LOT IT, ST DIKE ROAD, KANAKA, PAPAKONA	DRAWN: NJW DESIGNED: GMB	CHECKED: GMB	JOB NO: 1455







- 1. Site cut edges to be primed
- 2. Sealant must be installed between head flashing and window flange in VH and above wind zones. Refer to Figure 71 of E2/AS1
- 3. Alternatively, the head flashings can be formed with stop ends as per E2/AS1



Note: Site cut edges to be primed



Stria™ Cladding - Vertical On Timber Cavity Batten with Flexible Underlay

jhl\_strv\_ktaltd.rvt August 2022

Figure 15



Stria™ Cladding - Vertical On Timber Cavity Batten with Flexible Underlay DOOR SILL SUPPORT DETAIL

August 2022

Figure 19

jhl\_strv\_ktaltd.rvt

# LOT 11; TYPE A1



ZONES							
WIND	EQ	DURABILITY	CLIMATE				
HIGH	1	D	1				
BUILDING CONSENT APPL.							

GMB DESIGN (2005) LTD.

PROPOSED DEVELOPMENT LOT 11, 31 DYKE ROAD, KARAKA, PAPAKURA Office: 79 Twomey Drive Pukekohe - postal: P.O. Box 278, Pukekohe 2340

OFFICE: 79 Twomey Drive Pukekohe - postal: P.O. Box 278, Pukekohe 2340

OFFICE: 79 Twomey Drive Pukekohe - postal: P.O. Box 278, Pukekohe 2340

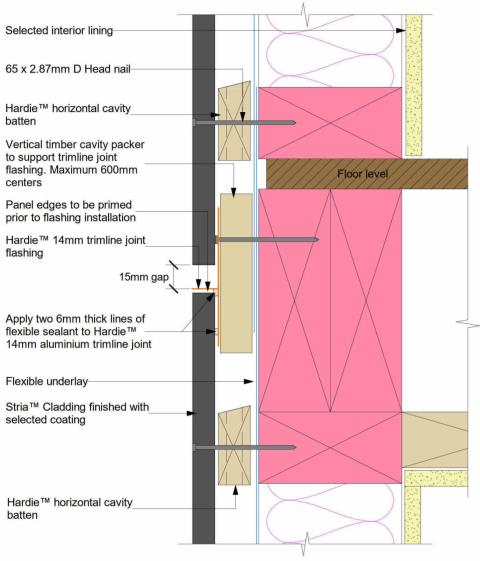
OFFICE: 79 Twomey Drive Pukekohe - postal: P.O. Box 278, Pukekohe 2340

OFFICE: 79 Twomey Drive Pukekohe - postal: P.O. Box 278, Pukekohe 2340

WG. TITLE:			DWG. NO:	REV:
	JH STRIA DETA	AILS	A825	Α
RAWN: NJW	CHECKED: GMB	SCALES: 1:1 at A3	JOB NO:	_
ESIGNED: GMR	DATE: OCT 123		145	5

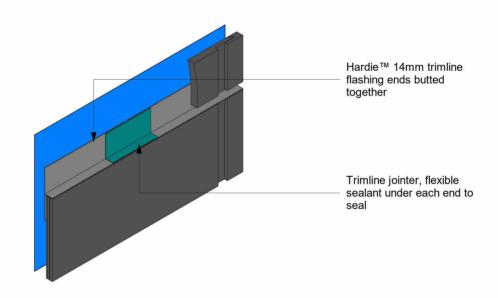






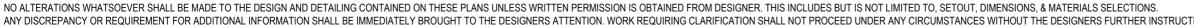
#### Notes:

- Hardie<sup>™</sup> 14mm aluminium trimline joint, take care to ensure continuous seal is formed between panel and the trimline joint
- A James Hardie supplied 'Trimline Horizontal Jointer' flashing will be required over the butt joint of the Hardie™ 14mm aluminium trimline joint
- · Site cut edges to be primed
- The flashing to be placed in the centre of the floor joists. Fix cavity battens into floor joists





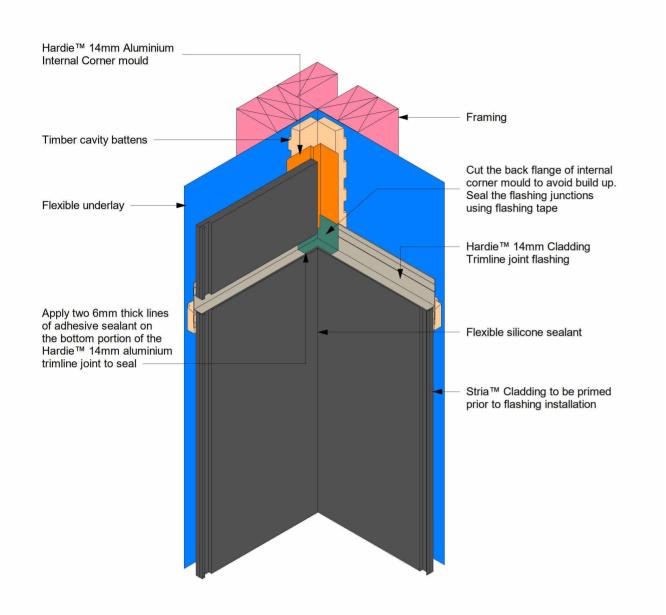


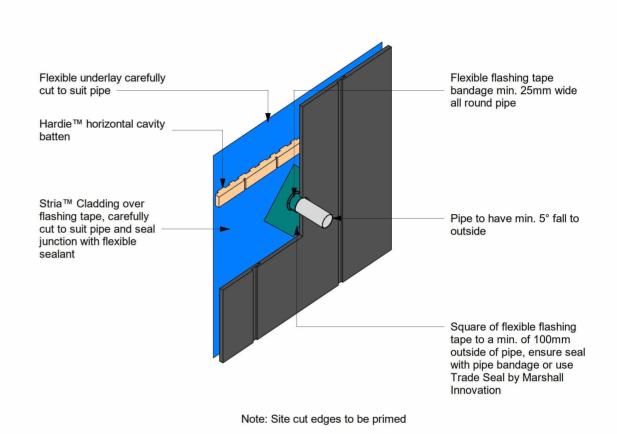


ANY DISCREPANCY OR REQUIREMENT FOR ADDITIONAL PROPERTY OF THE	AL INFORMATION SHALL BE IMMEDIATELY BROUGHT TO THE DESIGNERS ATTENTION. WOR	K REQUIRING CLARIFICATION SHALL NOT PROCEED UNDER ANY CI	IRCUMSTANCES WITHOUT THE DESIGNERS FURTHER INSTRUCTION				
ZONES WIND EQ DURABILITY CLIMATE		GMB DESIGN (2005) LTD.	PROPOSED DEVELOPMENT  LOT 11, 31 DYKE ROAD, KARAKA, PAPAKURA	DWG. TITLE:	JH STRIA DETAIL	LS	A826 REV:
BUILDING CONSENT APPL.	A 020424 ADDRESS UDDATED SENERAL NO BALL OF THE PROPERTY OF TH	ph (09) 239-1818 - e-mail: grant@gmb.co.nz Office_79 Twomey Drive_Pukekohe - postal: P.O. Box 278, Pukekohe 2340	Incil 10/MMESSERESMENTIAL	DESIGNED: GMB	CHECKED: GMB  DATE: OCT '23	SCALES: 1:1 at A3	јов NO: 1455



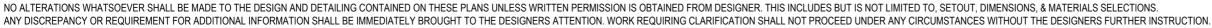








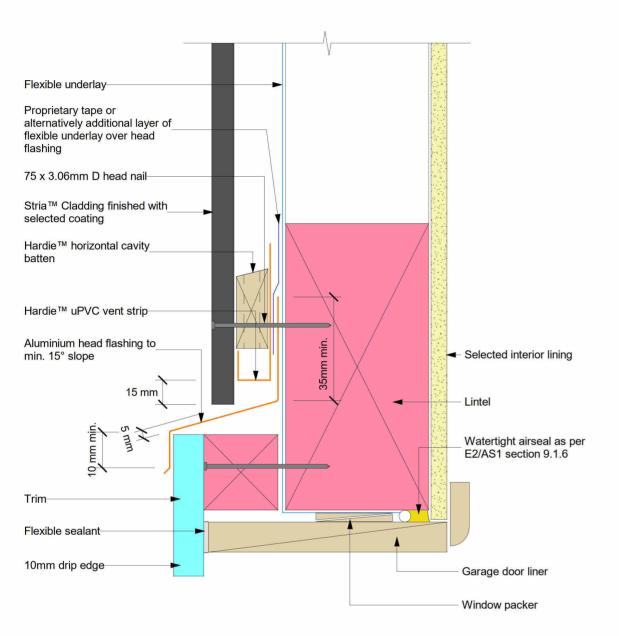




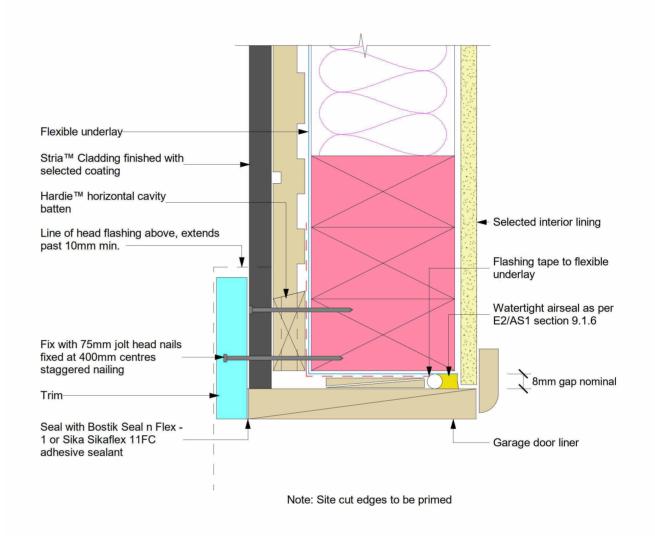
ZONES WIND EQ DURABILITY CLIMATE	TIONAL IN ONWATION OF THE BE IMMEDIATED BROOGHT TO THE BEGIONERO ATT	GMB DESIGN (2005) LTD.	PROPOSED DEVELOPMENT	DWG. TITLE:	JH STRIA DETAI	iLS	A827 REV:
BUILDING CONSENT APPL.	A 03.04.24 APDRESS UPDATED CENTRAL NO ARE	ph (09) 239-1818 - e-mail: grant@gmb.co.nz Office: 79 Twomey Drive, Pukekohe - postal: P.O. Box 278, Pukekohe 2340	LOT 11, 31 DYKE ROAD, KARAKA, PAPAKURA  FOR FOR ENTIAL	DRAWN: NJW DESIGNED: GMB	CHECKED: GMB DATE: OCT '23	SCALES: 1:1 at A3	JOB NO: 1455







- Sealant must be applied between head flashing and Trim in VH wind zone
- Site cut edges to be primed







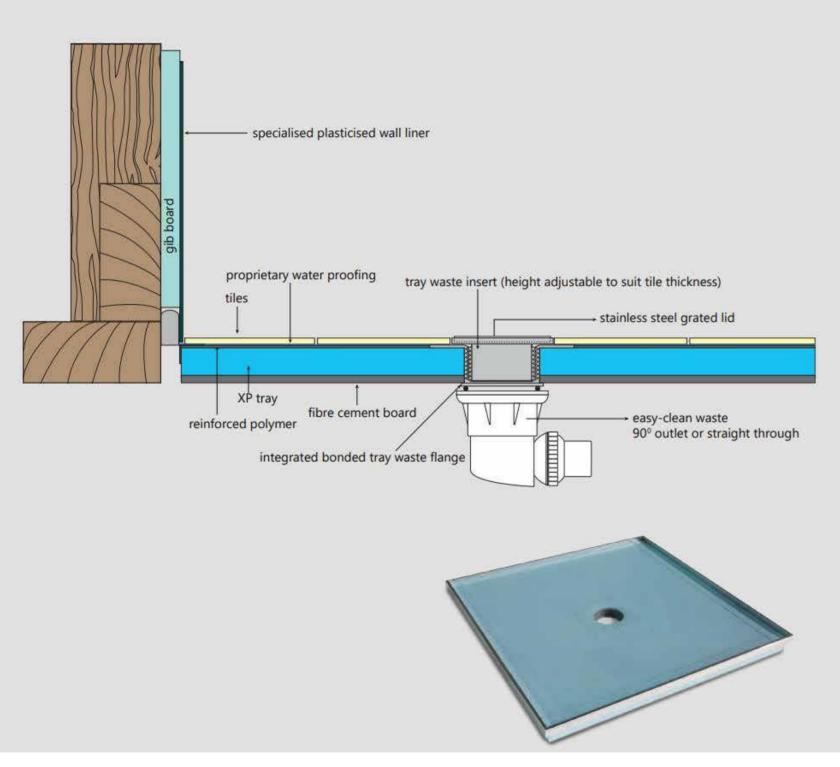
-	ANY DISCREPANCY OR REQUIREMENT FOR ADL	DITIONAL INFORMATION SHALL BE IMMEDIATELY	BROUGH	IT TO THE DESIGNERS ATTENTION. WORK REQUI	RING CLARIFICATION SHALL NOT PROCEED UNDER ANY CI	RCUMSTANCES WITHOUT THE	DESIGNERS FURTHER INSTRUCTION.				
	ZONES				OMB DEGION (COOF) I TD	PROPOSI	ED DEVELOPMENT	DWG. TITLE:	JH STRIA DETAIL	S	DWG. NO: REV:
H	WIND EQ DURABILITY CLIMATE HIGH 1 D 1				GMB DESIGN (2005) LTD.	I OT 11, 31 DYKF F	ROAD, KARAKA, PAPAKURA		J		AOZO A
ı	BUILDING CONSENT APPL.	1	-02 M 24	ADDRESS LIDIATED CENERAL	ph (09) 239-1818 - e-mail: grant@gmb.co.nz Office_79 Twomey Drive_Pukekohe - postal: P.O. Box 278, Pukekohe 2340		FOR	DRAWN: NJW	CHECKED: GMB	1 : 1 at A3	1455
	DOILDING CONSENT ALLE.	NO NO	RAC	OTOTATANOT ROCAL	yed by Auckland Cou	ncil 10/04/8	FRESIZENTIAL	DESIGNED: GMB	DATE: OCT '23		1100



Page 50 of 52 Building Consent BCO10374007 Approved by Auckland Council Showerwell

Tile Safe Shower Installation





# LOT 11; TYPE A1

NO ALTERATIONS WHATSOEVER SHALL BE MADE TO THE DESIGN AND DETAILING CONTAINED ON THESE PLANS UNLESS WRITTEN PERMISSION IS OBTAINED FROM DESIGNER. THIS INCLUDES BUT IS NOT LIMITED TO, SETOUT, DIMENSIONS, & MATERIALS SELECTIONS. ANY DISCREPANCY OR REQUIREMENT FOR ADDITIONAL INFORMATION SHALL BE IMMEDIATELY BROUGHT TO THE DESIGNERS ATTENTION. WORK REQUIRING CLARIFICATION SHALL NOT PROCEED UNDER ANY CIRCUMSTANCES WITHOUT THE DESIGNERS FURTHER INSTRUCTION.

		ZONES			
WIND	EQ	DURABILITY	CLIMATE		
HIGH	1	D	1		
BUILDING CONSENT APPL.					

GMB DESIGN (2005) LTD. ph (09) 239-1818 - e-mail: grant@gmb.co.nz

ph (09) 239-1818 - e-mail: grant@gmb.co.nz

Office: 79 Twomey Drive, Pukekohe 2340

PROPOSED DEVELOPMENT LOT 11, 31 DYKE ROAD, KARAKA, PAPAKURA

WG. TITLE:			DWG. NO:	REV:
	SHOWERWELL	BASE	A831	Α
RAWN: NJW	CHECKED: GMB	SCALES: 1:1 at A3	JOB NO:	5
ESIGNED: GMR	DATE: OCT 123		143	ິ



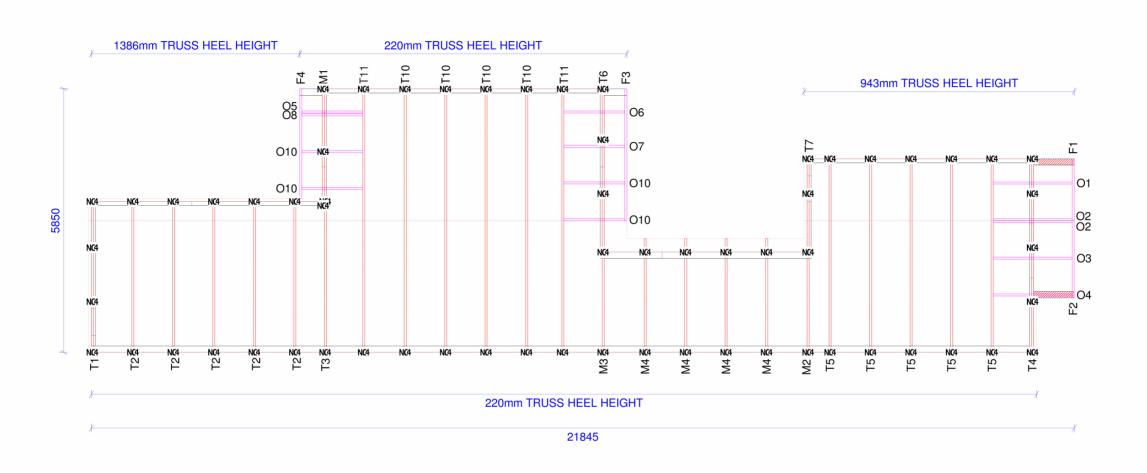
Page 51 of 52 Building Consent BCO10374007 Approved by Auckland Council

06/05/2024

Truss Connections Trusses need to be fixed at each timber support with 2/90x3.15 dia Skew Nails unless otherwise noted. NC4 79 x 1/NPPC4 Purlin cleat X 11 x 1/MPMGL Multigrip (long)

**BUILDABLE TRUSS LAYOUT** TIMBER GRADE IS MINIMUM 45 KDH1.2, MSG8/LVL8 OR BETTER





NTS

PRODUCED IN PARTNERSHIP WITH



Customer : Producer Statement

: Karaka - Type A1 Job Name : Linwood Road : Karaka

Job Ref: PS23080

Wind Speed : 44.00 m/s (Ult.)

Ceiling Lining : 13mm Gib-board (8.5 kg/sq.m.)

Roof Pitch : 25.00 Deg. Detailer : Kieran Hamid ALL CARE HAS BEEN TAKEN BY POHUTUKAWA FRAME & TRUSS LTD TO FOLLOW SUPPLIED PLANS ACCURATELY. BUILDABLE TRUSS LAYOUT TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL PLANS SUPPLIED.

IT IS THE RESPONSIBILITY OF THE CLIENT TO CHECK PLAN CONTENT IS CORRECT



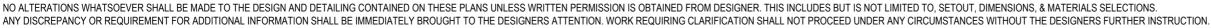


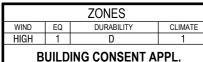
Pohutukawa Frame and Truss Ltd ~ 37 Reta Cres, Kerepehi, 3671, Ph 07- 867 6706, Fax 07- 867 6702

Thursday, 14 September 2023

04:05:32 PM

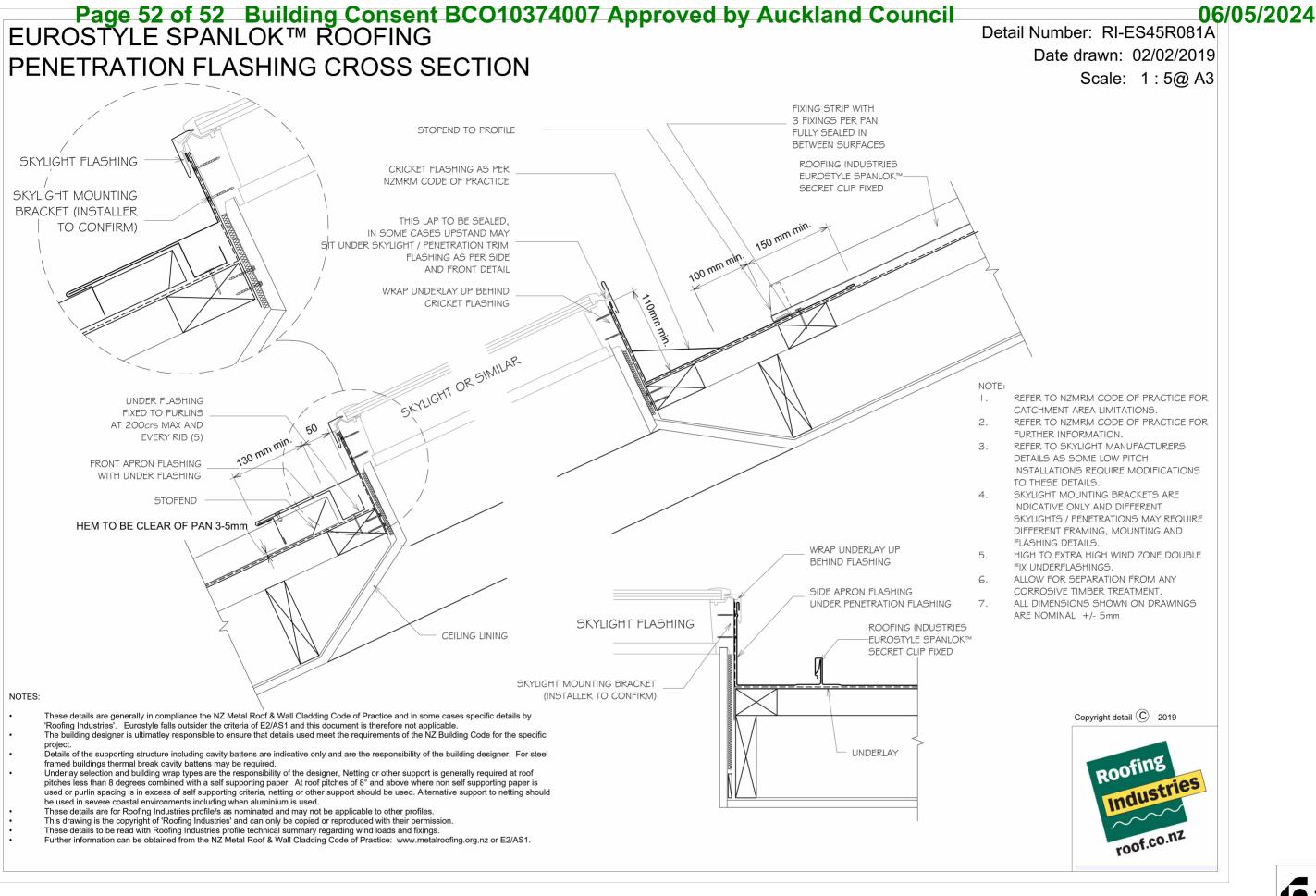
LOT 11; TYPE A1

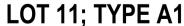




G. TITLE	:	DWG. NO:	REV:			
	T	RUSS LAYOUT P	LAN	A881	Α	
AWN:	NJW	CHECKED: GMB	SCALES: 1:1 at A3	JOB NO:	_	
GIGNED:	GMB	DATE: OCT 123		143	J	

			GMB DESIGN (2005) LTD.	PROPOSED DEVELOPMENT  LOT 11, 31 DYKE ROAD, KARAKA, PAPAKURA	DWG. TITLE:	RUSS LAYOUT PI	LAN	DWG. NO: A881	A
A NO	02 04 24 A	ADDRESS UNDATED CENERAL OF RECEIVE	ph (09) 239-1818 - e-mail: grant@gmb.co.nz Office: 79 Twomey Drive Pukekohe - postal: P.O. Box 278, Pukekohe 2340		DRAWN: NJW DESIGNED: GMB	CHECKED: GMB  DATE: OCT '23	SCALES: 1:1 at A3	JOB NO: 1455	5





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ZONES							
WIND	WIND EQ DURABILITY CLIMATE						
HIGH	1	D	1				
BUILDING CONSENT APPL.							

GMB DESIGN (2005) LTD.

PROPOSED DEVELOPMENT LOT 11, 31 DYKE ROAD, KARAKA, PAPAKURA A MONA APPRESS UPDATED CENERAL OFFICE OF PROPERTY OF PURENCIE POSTAL P.O. Box 278, Pukekohe 2340

Office: 79 Twomey Drive, Pukekohe - postal: P.O. Box 278, Pukekohe 2340

Office: 79 Twomey Drive, Pukekohe - postal: P.O. Box 278, Pukekohe 2340

Office: 79 Twomey Drive, Pukekohe - postal: P.O. Box 278, Pukekohe 2340

Office: 79 Twomey Drive, Pukekohe - postal: P.O. Box 278, Pukekohe 2340

Office: 79 Twomey Drive, Pukekohe - postal: P.O. Box 278, Pukekohe 2340

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			7.00	'`
<sup>WN:</sup> NJW	CHECKED: GMB	SCALES: 1:1 at A3	JOB NO:	
CNED:	DATE:	1.14170	145	5
GMED: GMR	DATE: OCT '23			

